

Sheet Number	Sheet Name
1	PERSPECTIVE
2	SITE PLAN
3	Site Analysis
4	Colour Selection
5	Demolition Plan
6	GROUND FLOOR
7	FIRST FLOOR
8	ELEVATION
9	ELEVATION
10	SECTION
11	SEDIMENT AND WASTE MANAGEMENT PLAN
12	SHADOW
13	Basix
14	Nathers

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CLIENT NAME: Pashupati Pokhrel & Kamala Devkota Pokhrel
LOT C, DP 325545,
50 Phillip Street Roseland NSW 2196,
3D IMAGE IS FOR ILLUSTRATIVE PURPOSE ONLY



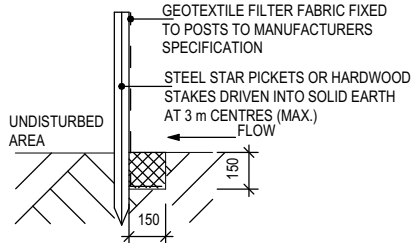
CALCULATIONS
LOT C | SITE AREA 455.3m²

NOTE
ALL DIMENSIONS ARE TO STRUCTURAL
ELEMENTS ONLY. ROOM SIZES ARE
SUBJECT TO SELECTED WALL FINISHES

FLOOR AREA	
Alfresco	37.43
Balcony	7.06
First Floor	124.95
Garage	23.63
Ground Floor	157.82
Porch	6.64
Voids	8.41
Voids	21.32
387.26 m ²	

Gross Floor Area	
First Floor	109.24
Ground Floor	141.80
251.04 m ²	

PHILLIP STREET



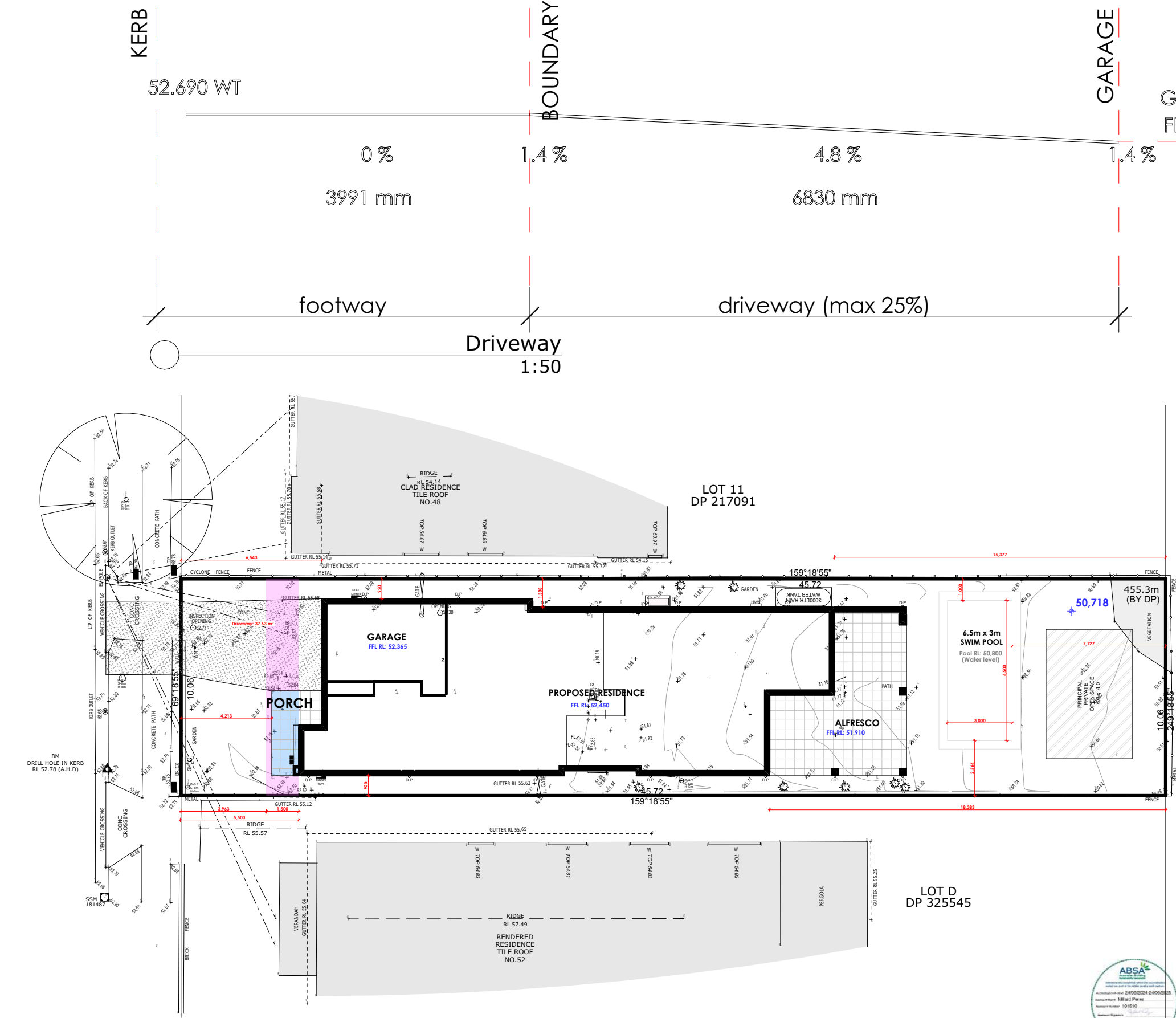
1. SILTATION FENCING IS TO BE PLACED AS SHOWN ON THE SITE PLAN SO AS TO PREVENT SILT RUN OFF TO ANY ADJOINING PROPERTY OR THE STREET. THIS MEASURE IS TO BE PLACED PRIOR TO ANY EXCAVATION WORK AND IS TO BE REMOVED ONLY WHEN THE SITE SURFACE HAS BEEN STABILIZED, IE PAVED, LANDSCAPED OR TURFED.

2. CRUSHED ROCK AGGREGATE (40 mm) IS TO BE PLACED AS AN ACCESS DRIVEWAY TO THE SITE AND MUST BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION


SOIL EROSION AND
SEDIMENTATION CONTROL

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GFL: 52.365
FFL: 52.450

ISSUE	AMENDEMENT	DATE	SITE PLAN				SITE ADDRESS:		
A	FIRST SKETCH	05.03.24	SHEET No: 2/23	JOB No: J093	DRAWN BY: R.A.	SCALE: 1:200, 1:50, 1:100	LOT C, DP 325545		
B	Amendment	27.03.24					50 Phillip Street		
C	DA Submission	15.04.24					Roseland, NSW, 2196		
-	-	-	CLIENT: Pashupati Pokhrel & Kamala Devkota Pokhrel					DATE:	ISSUE: C
-	-	-						05.03.24	
-	-	-							



Site Calculations	
Condition	139.37
Condition	113.29
	252.66 m ²
Landscape	25.65
Landscape	77.74
	103.39 m ²
POS	159.63
	159.63 m ²
Roof	223.91
	223.91 m ²
UnCondition	4.07
UnCondition	19.36
UnCondition	4.64
	28.07 m ²

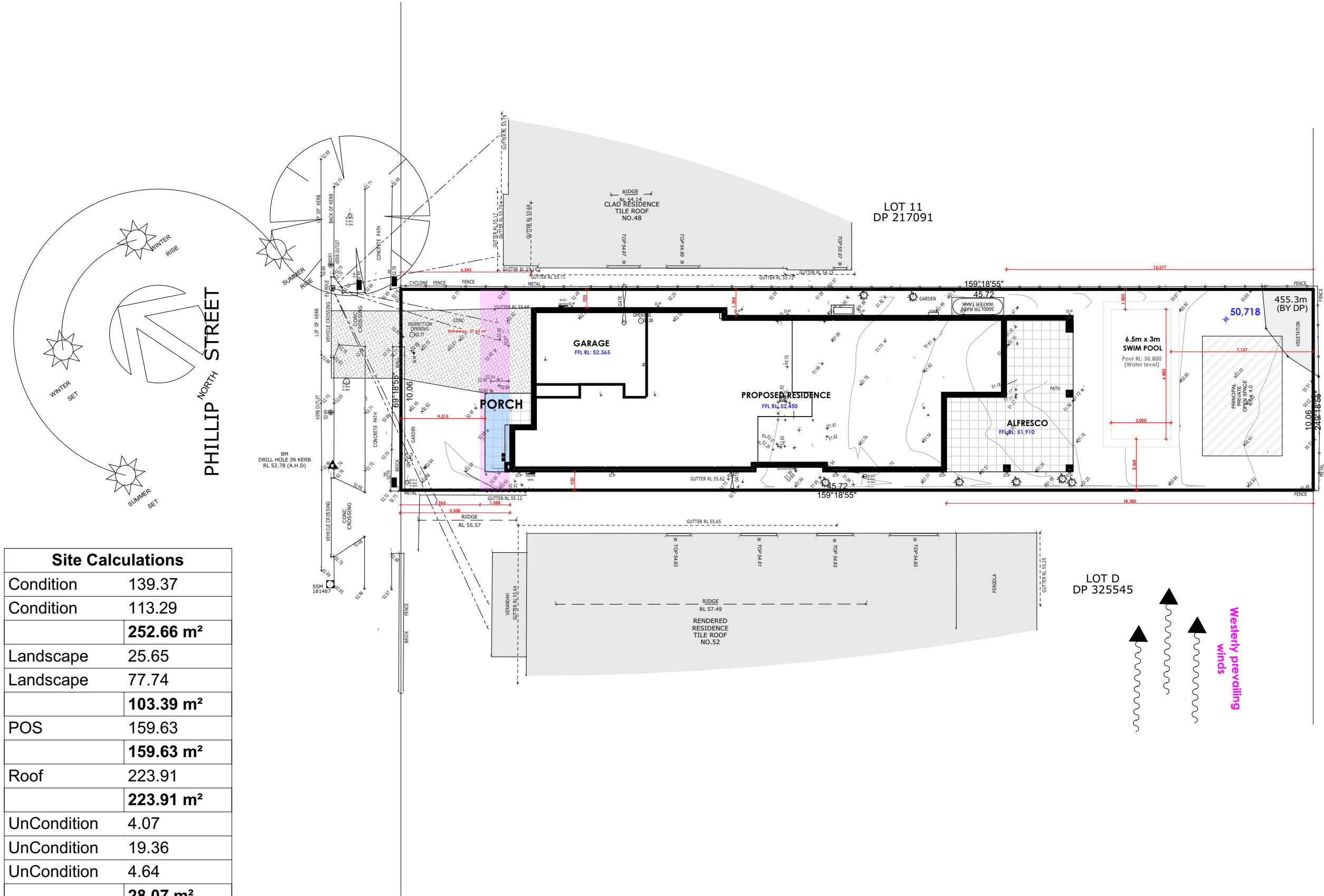
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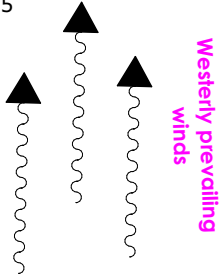
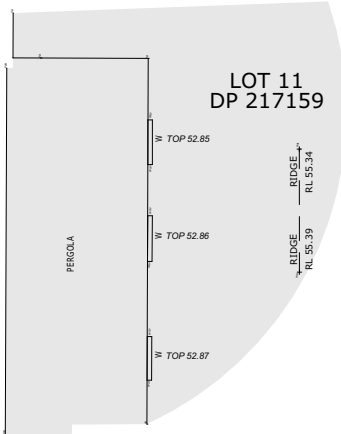
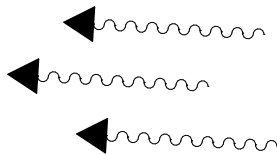
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-	-	-
-	-	-
-	-	-

Site Analysis			
SHEET No:	JOB No:	DRAWN BY:	SCALE:
3/23	J093	R.A.	1:200
CLIENT:			
Pashupati Pokhrel & Kamala Devkota Pokhrel			

SITE ADDRESS:	
LOT C, DP 325545	
50 Phillip Street	
Roseland, NSW, 2196	
DATE:	ISSUE:
05.03.24	C



Southerly prevailing winds



Westerly prevailing winds



EXTERNAL COLOUR SCHEDULE

With the extensive range of Brickworks products, you can create a beautiful, long lasting home that will give you great pleasure, comfort and durability for a lifetime.

COLOUR CONSULTANT:	Ashley McCarren	STUDIO/CENTRE:	Colour Studio Oakdale
CLIENT NAME:	Pashupati & Kamala Pokhrel	TODAY'S DATE:	29/05/2024
EMAIL:	pashupatipokhrel@hotmail.com	PHONE:	0432 827 004
PROJECT ADDRESS:	50 Phillip Street, Austral NSW 2179	BUILDER:	Dhursan Constructions
JOB NUMBER/ PACKAGE:	-	BUILDING TYPE:	Double Storey

HOUSE DETAILS			
BRICK SUPPLIER:	Austral		
BRICK RANGE:	Wilderness		
BRICK COLOUR:	Blackbutt		
MORTAR:	Off White	JOINTS:	Flush
FEATURE LOCATION:	N/A		
FEATURE BRICK:	N/A		
MORTAR:	N/A	JOINTS:	N/A
ROOF SUPPLIER:	Metal		
ROOF PROFILE:	Custom Orb		
COLOUR:	Colorbond Monument		
PARAPET ROOF:	Colorbond Monument	BARGE:	N/A
PARAPET CAPPING:	Colorbond Monument	BARGE CAPPING:	N/A
FASCIA:	Colorbond Monument		
GUTTER:	Colorbond Monument		
RAINWATER TANK:	Poly Monument (Charcoal)		
BALCONY RAIL:	Glass Balustrade with Chrome finish Top Rail		
WINDOWS:	SUPPLIER:	COLOUR: Monument Matt	
PRIVACY SCREEN: (if applicable)	Aluminium Powder Coated Finish:	COLOUR:	

GARAGE DOORS:	SUPPLIER:	Doorworks
	PROFILE:	Flat Woodgrain
	COLOUR:	Caoba (Builder to Raise Variation)
REAR GARAGE:	COLOUR:	N/A
DRIVEWAY:	SUPPLIER:	TBC with Builder
	FINISH:	Plain
	COLOUR:	Gunmetal

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BRICKWORKS
— BUILDING PRODUCTS —

EXTERNAL PAINT	COLOUR SELECTION
FRONT DOOR & FRAME:	Taubmans Monument (CB) Dark Paint or Stain Colours (of which have an LRV of under 50) may void the Manufacturers Product warranty
BALCONY DOOR & FRAME:	Aluminium Sliding – Monument
ALFRESCO DOORS:	Aluminium Sliding – Monument
LAUNDRY DOOR:	Aluminium Sliding – Monument
GARAGE HINGED DOOR:	N/A
PVC DOWNPIPES:	Taubmans Monument (CB)
METER BOX:	Taubmans Monument (CB)
EAVES/VERANDAH CEILINGS:	Taubmans Crisp White
RENDER TO WIR/LOUNGE FEAUTURE C PROJECTION:	Taubmans Monument (CB)
ALUCOBOND TO BALCONY C PROJECTION	Dark Grey Metallic (505)
RENDER TO REMAINING FRONT FACADE:	Taubmans Surfemist (CB)
ALUMINIUM POSTS:	Decowood – Wenge (Builder to Raise Variation)

EXTERNAL DOORS				
FRONT DOOR:	PROFILE:	Grange Fiber Glass Door (Builder to Raise Variation)	GLAZING:	N/A
LAUNDRY DOOR:	PROFILE:	Aluminium Sliding	GLAZING:	Clear
BALCONY DOOR:	PROFILE:	Aluminium Sliding	GLAZING:	Clear
ALFRESCO DOORS:	PROFILE:	Aluminium Sliding	GLAZING:	Clear
GARAGE HINGED DOOR:	PROFILE:	N/A		

☒ Slurry face bricks are coloured with an applied finish, therefore delivering, laying and cleaning can result in some removal of the face colour and exposure of the brick body beneath.

☒ Entrance and exterior doors should be finished in light reflective colour to reduce the risk of heat absorption which may cause warping. DARK PAINT OR STAIN COLOURS WILL VOID THE MANUFACTURERS PRODUCT WARRANTY.

☒ Clear or stain finish provided to timber items throughout will differ in colour due to different timber species and suppliers

Customer Signature

Customer Name

Date

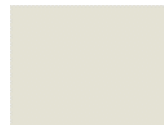
Pashupati Pokhrel
29.05.2024



AUSTRAL BRICKS
Wilderness, Blackbutt
Off White Mortar, Iron joint



WINDOWS
Monument Matt



TAUBMANS, SURFEMIST
Render to Front Facade
excluding Feature Balcony
Projection & WIR/Lounge
Projection



TAUBMANS, MONUMENT
Render to WIR/Lounge
Projection, Downpipes,
Meter Box, Front Door &
Frame



**ALUCOBOND, DARK GREY
METALLIC**
Balcony C Projection



METAL ROOFING
Custom Orb, Monument



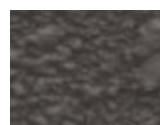
COLORBOND, MONUMENT
Gutter, Fascia, Parapet
Capping, Parapet Roof,
Water Tank



DECOWOOD, WENGÉ
Façade Aluminum Posts



GARAGE DOOR
Flat Woodgrain, Caoba



DRIVEWAY
Plain, Gunmetal

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ISSUE	AMENDEMENT	DATE
A	FIRST SKETCH	05.03.24
B	Amendment	27.03.24
C	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

CLIENT:

Pashupati Pokhrel & Kamala Devkota Pokhrel

SITE ADDRESS:

LOT C, DP 325545,
50 Phillip Street Roseland NSW
2196,

PROJECT NUMBER:

J093

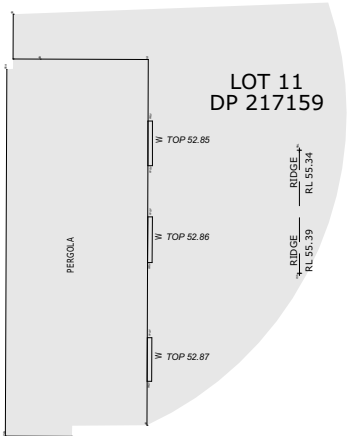
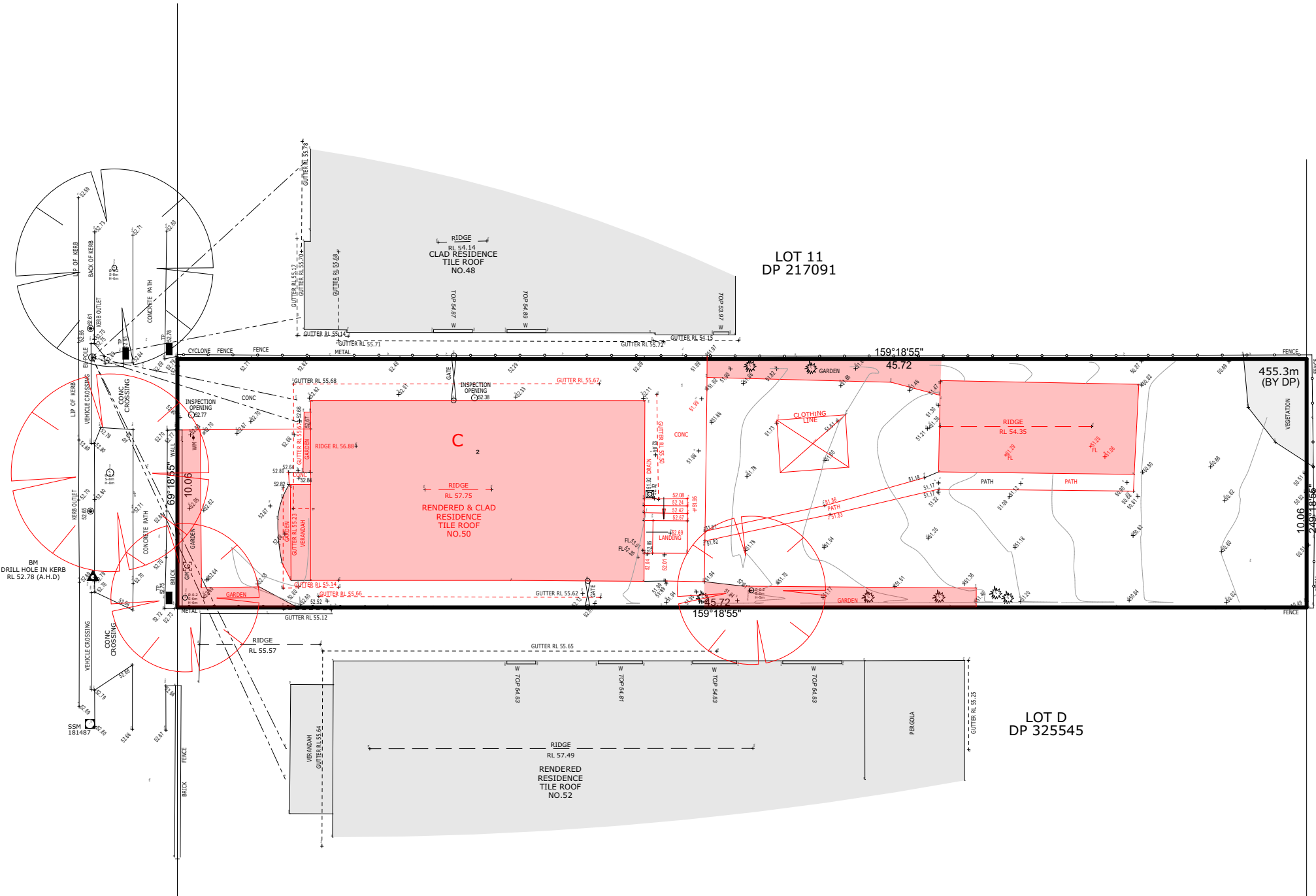
SHEET TITLE:

Colour Selection

DATE:	DRAWN BY:	COUNCIL:
10/10/2024	R.A.	CANTERBURY-BANKSTOWN
SHEET No:	ISSUE:	SCALE:
4	C	1:2, 1:1



PHILLIP STREET



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A	FIRST SKETCH	05.03.24
B	Amendment	27.03.24
C	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-

Demolition Plan			
SHEET No:	JOB No:	DRAWN BY:	SCALE:
5/23	J093	R.A.	1:200
CLIENT:			
Pashupati Pokhrel & Kamala Devkota Pokhrel			

SITE ADDRESS:	
LOT C, DP 325545	
50 Phillip Street	
Roseland, NSW, 2196	
DATE:	ISSUE:
05.03.24	C



CONSTRUCTION IS TO BE IN ACCORDANCE WITH BCA AND OTHER RELEVANT AUSTRALIAN STANDARDS

TERMITE PROTECTION TO AS3660.2-2000

5 SMOKE ALARM

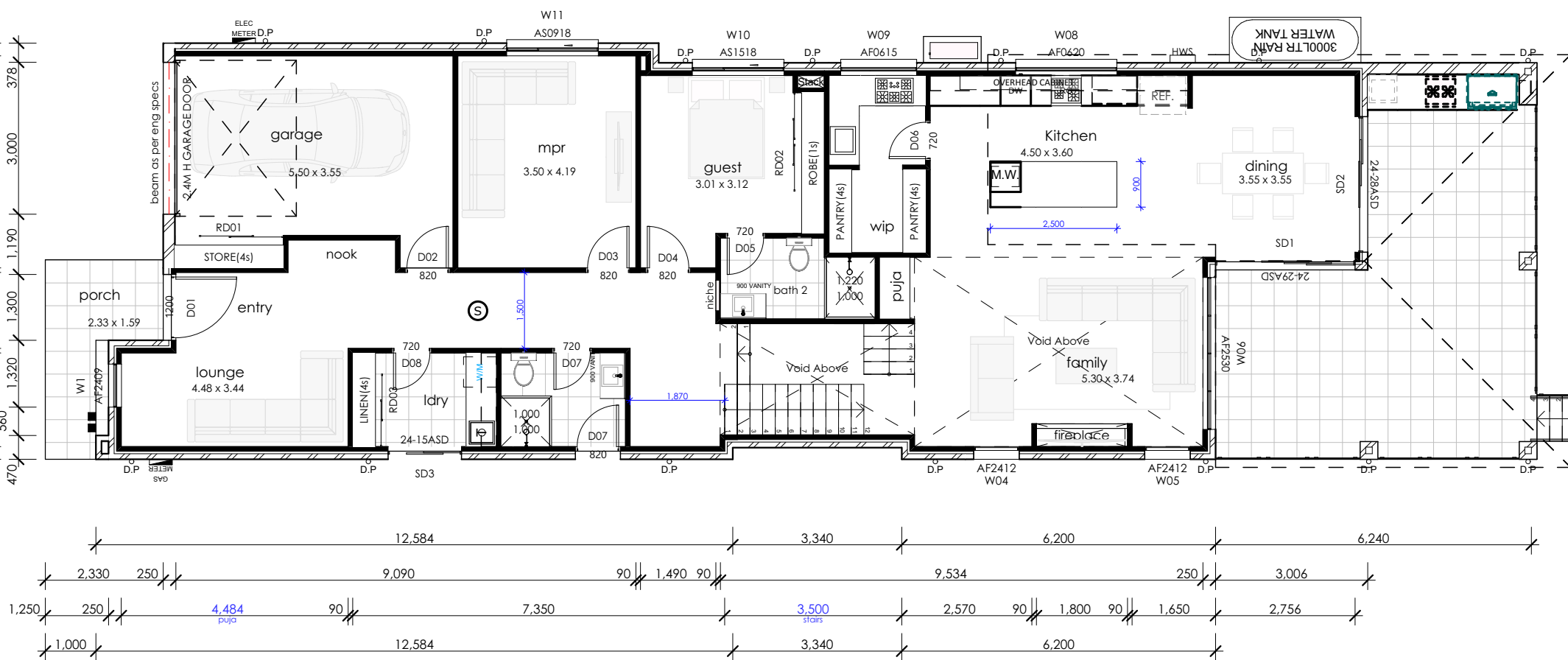
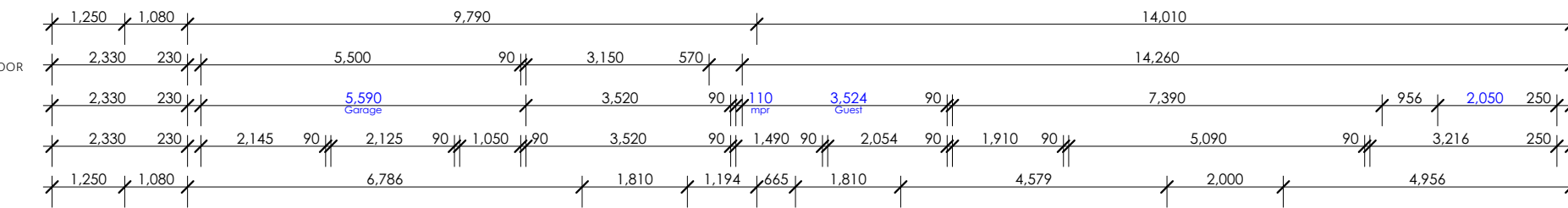
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LEGEND

WIR WALK IN ROBE
WIL WALK IN LINEN
WIP WALK IN PANTRY
SQ SET SQUARE SET
Q/SLIDE QUICK SLIDE
AS ALUMINIUM SLIDING
AA ALUMINIUM AWNING
ASD ALUMINIUM SLIDING DOOR
DW DISHWASHER
WM WASHING MACHINE
V VANITY
AJ ARCHITECTURAL JOINT
S/O STUD OPENING
LH LEFT HAND DRAWERS
RH RIGHT HAND DRAWERS

Gross Floor Area	
First Floor	109.24
Ground Floor	141.80
	251.04 m ²

FLOOR AREA	
Alfresco	37.43
Balcony	7.06
First Floor	124.95
Garage	23.63
Ground Floor	157.82
Porch	6.64
Voids	8.41
Voids	21.32
	387.26 m ²



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-	-	-
-	-	-

GROUND FLOOR			
SHEET No:	JOB No:	DRAWN BY:	SCALE: 1:110.0
6/23	J093	R.A.	1
CLIENT: Pashupati Pokhrel & Kamala Devkota Pokhrel			

SITE ADDRESS: LOT C, DP 325545 50 Phillip Street Roseland, NSW, 2196	
DATE: 05.03.24	ISSUE: C



CONSTRUCTION IS TO BE IN ACCORDANCE WITH BCA AND OTHER RELEVANT AUSTRALIAN STANDARDS

TERMITE PROTECTION TO AS3660.2-2000

SMOKE ALARM

NOTE
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LEGEND

WIR WALK IN ROBE
WIL WALK IN LINEN
WIP WALK IN PANTRY
SQ SET SQUARE SET
Q/SLIDE QUICK SLIDE
AS ALUMINIUM SLIDING
AA ALUMINIUM AWNING
ASD ALUMINIUM SLIDING DOOR
DW DISHWASHER
WM WASHING MACHINE
V VANITY
AJ ARCHITECTURAL JOINT
S/O STUD OPENING
LH LEFT HAND DRAWERS
RH RIGHT HAND DRAWERS

Gross Floor Area	
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251.04 m ²	

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FIRST FLOOR			
SHEET No:	JOB No:	DRAWN BY:	SCALE:
7/23	J093	R.A.	1:100
CLIENT: Pashupati Pokhrel & Kamala Devkota Pokhrel			

SITE ADDRESS: LOT C, DP 325545 50 Phillip Street Roseland, NSW, 2196	
DATE: 05.03.24	ISSUE: C



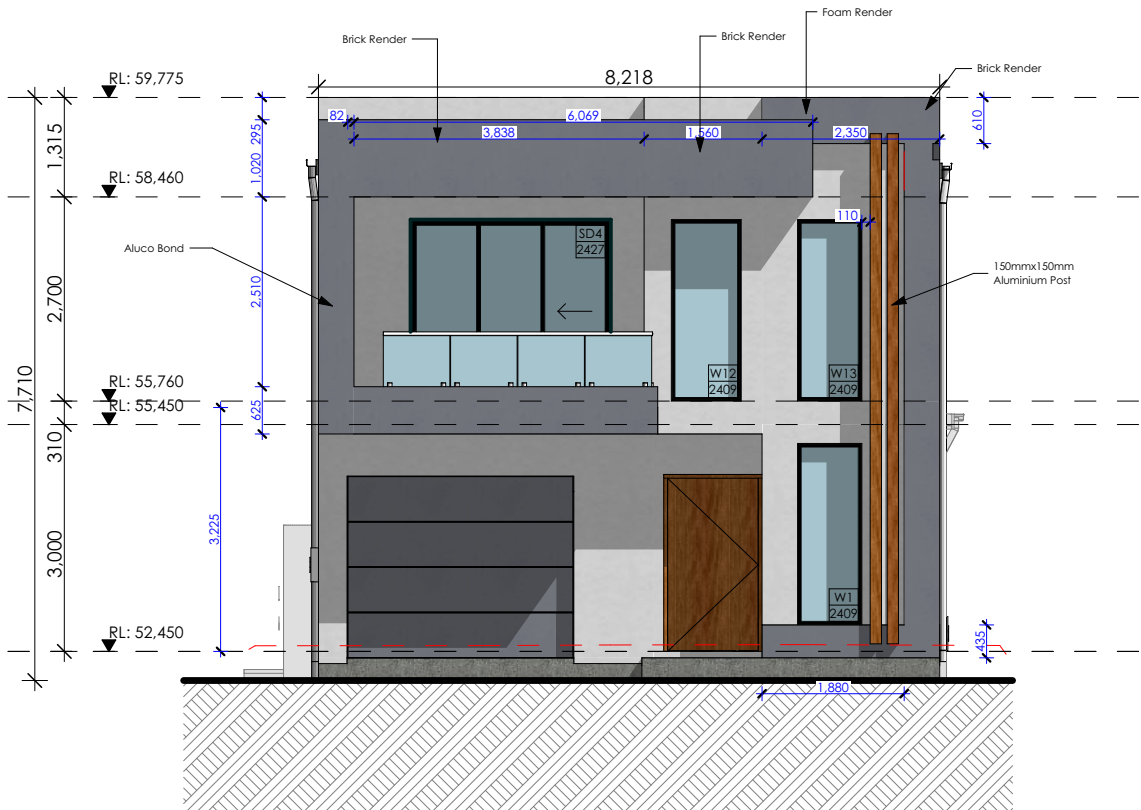
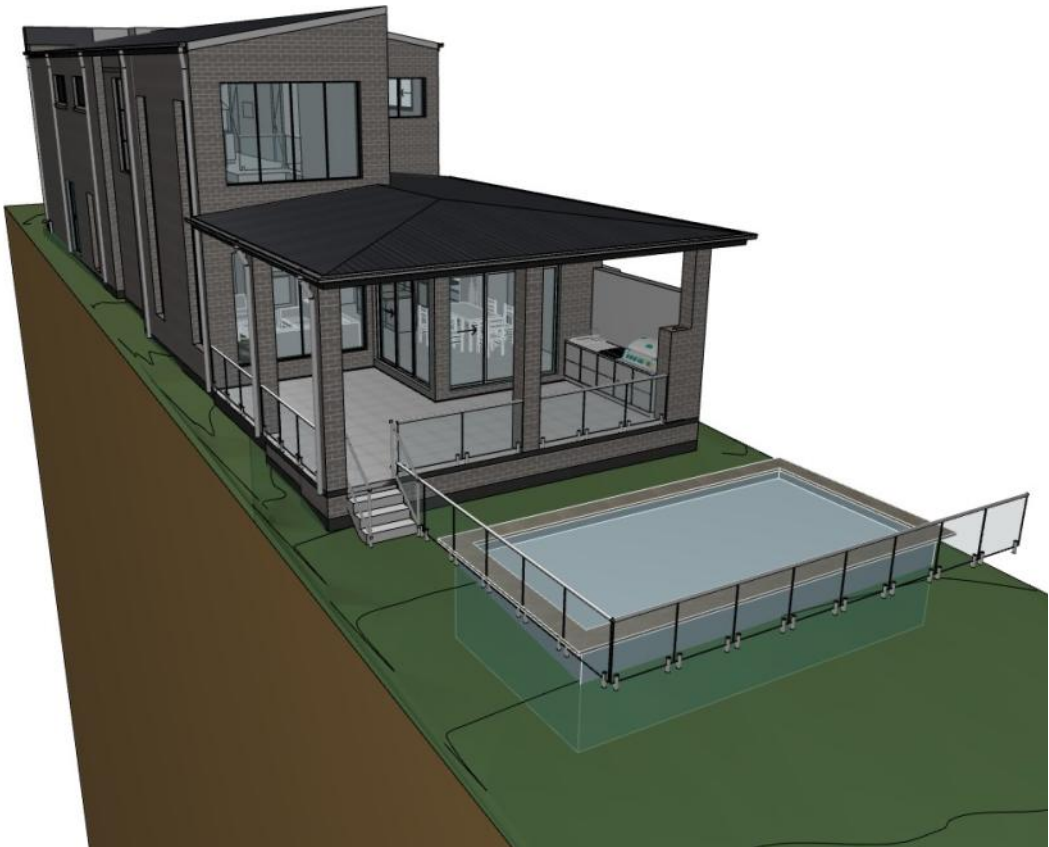
CONSTRUCTION IS TO BE IN ACCORDANCE WITH BCA AND OTHER RELEVANT AUSTRALIAN STANDARDS

TERMITE PROTECTION TO AS3660.2-2000

SMOKE ALARM

NOTE

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FRONT (North) ELEVATION
1:100



REAR (South) ELEVATION
1:100



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-	-	-
-	-	-
-	-	-

ELEVATION			
SHEET No:		JOB No:	DRAWN BY:
8/23		J093	R.A.
CLIENT:		SCALE: 1:33.33, 1:250	
Pashupati Pokhrel & Kamala Devkota Pokhrel			

SITE ADDRESS:	
LOT C, DP 325545	
50 Phillip Street	
Roseland, NSW, 2196	
DATE:	ISSUE:
05.03.24	C



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SUBJECT TO SELECTED WALL FINISHES

⑤ SMOKE ALARM



SIDE (West) ELEVATION
1:100



SIDE (East) ELEVATION
1:100

ISSUE	AMENDMENT	DATE
A	FIRST SKETCH	05.03.24
B	Amendment	27.03.24
C	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-

ELEVATION

SHEET No:

9/23

JOB No:

J093

DRAWN BY:

R.A.

SCALE:

1:100

CLIENT:

Pashupati Pokhrel & Kamala Devkota Pokhrel

SITE ADDRESS:

LOT C, DP 325545

50 Phillip Street

Roseland, NSW, 2196

DATE:

05.03.24

ISSUE:

C



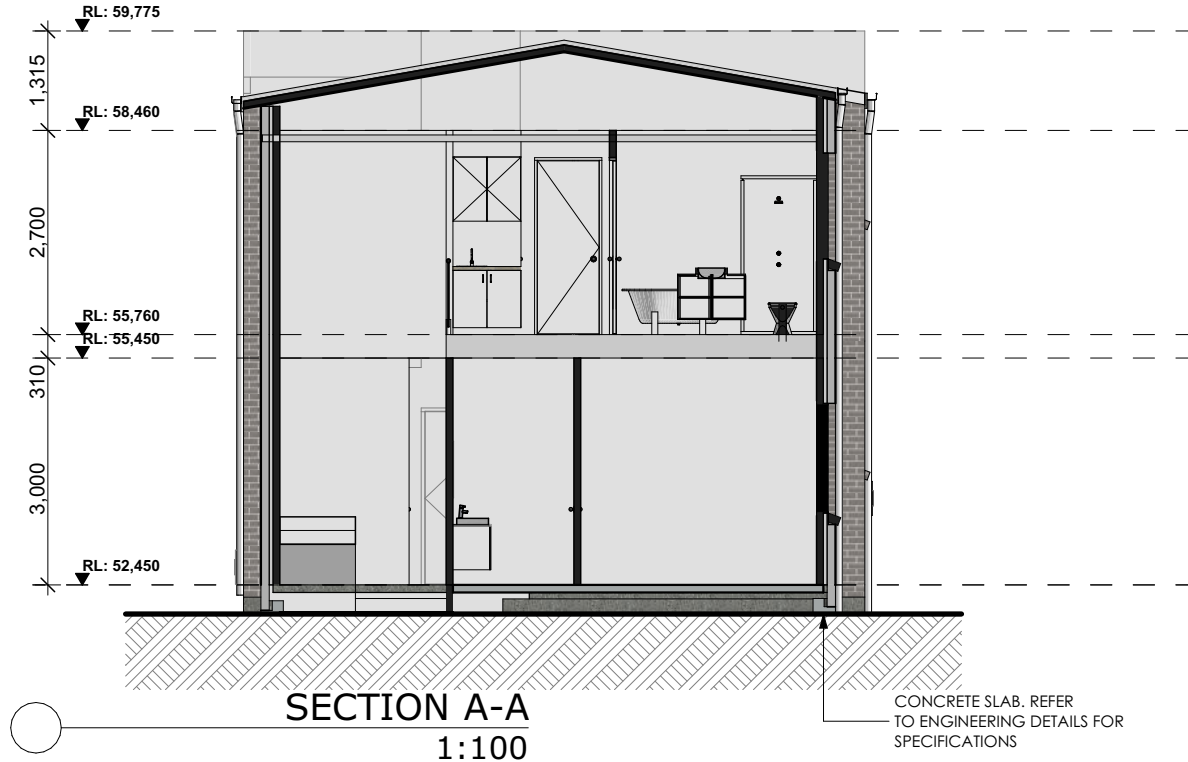
CONSTRUCTION IS TO BE IN ACCORDANCE WITH BCA AND OTHER RELEVANT AUSTRALIAN STANDARDS

TERMITE PROTECTION TO AS3660.2-2000

Ⓢ SMOKE ALARM

NOTE
ALL DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. ROOM SIZES ARE SUBJECT TO SELECTED WALL FINISHES

Internal Doors		
Window Number	Height	Width
2.4M H GARAGE DOOR	2,400	3,000
D01	2,340	1,200
D02	2,340	820
D03	2,340	820
D04	2,340	820
D05	2,340	720
D06	2,040	720
D07	2,340	720
D07	2,340	820
D08	2,340	720
D10	2,340	820
D10	2,340	820
D10	2,340	720
D10	2,340	820
D10	2,340	720
D10	2,340	720
D11	2,340	820
RD01	2,400	2,145
RD02	2,400	2,780
RD03	2,400	1,850
RD03	2,400	3,038
RD03	2,400	1,669
RD03	2,400	1,571
SD1	2,400	2,756
SD2	2,400	2,677
SD3	2,400	1,450
SD4	2,400	2,650




External Door Schdeule			
Window Number	Height	Width	Type
SD1	2,400	2,756	Sliding door Multi-panels
SD2	2,400	2,677	Sliding door Multi-panels
SD3	2,400	1,450	Sliding door Multi-panels
SD4	2,400	2,650	Sliding door Multi-panels

Window Schedule				
Window Number	Height	Width	Window type	Glass Material
niche	450	1,000	---	MISSING
W1	2,400	850	Fixed	Glass - CLEAR
W04	5,200	900	---	Glass - OBSCURE
W05	5,200	900	---	Glass - OBSCURE
W06	2,450	3,000	Fixed	Glass - CLEAR
W08	600	2,000	Fixed	Glass - CLEAR
W09	600	1,500	Fixed	Glass - CLEAR
W10	1,450	1,810	Sliding	Glass - CLEAR
W11	850	1,810	Sliding	Glass - CLEAR
W12	2,400	924	Fixed	Glass - CLEAR
W13	2,400	850	Fixed	Glass - CLEAR
W14	850	2,050	Sliding	Glass - CLEAR
W15	850	2,050	Sliding	Glass - CLEAR
W16	2,400	1,210	---	Glass - CLEAR
W17	1,000	3,000	Fixed	Glass - CLEAR
W17	2,000	3,000	Fixed	Glass - CLEAR
W19	850	2,050	Sliding	Glass - CLEAR
W20	1,400	650	Awning	Glass - OBSCURE
W21	850	1,210	Sliding	Glass - OBSCURE
W22	850	750	Sliding	Glass - OBSCURE

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ISSUE	AMENDEMENT	DATE	SECTION				SITE ADDRESS:	
A	FIRST SKETCH	05.03.24	SHEET No: 10/23	JOB No: J093	DRAWN BY: R.A.	SCALE: 1:100	LOT C, DP 325545	
B	Amendment	27.03.24					50 Phillip Street	
C	DA Submission	15.04.24					Roseland, NSW, 2196	
-	-	-	CLIENT: Pashupati Pokhrel & Kamala Devkota Pokhrel				DATE:	ISSUE:
-	-	-					05.03.24	C
-	-	-						



LEGEND

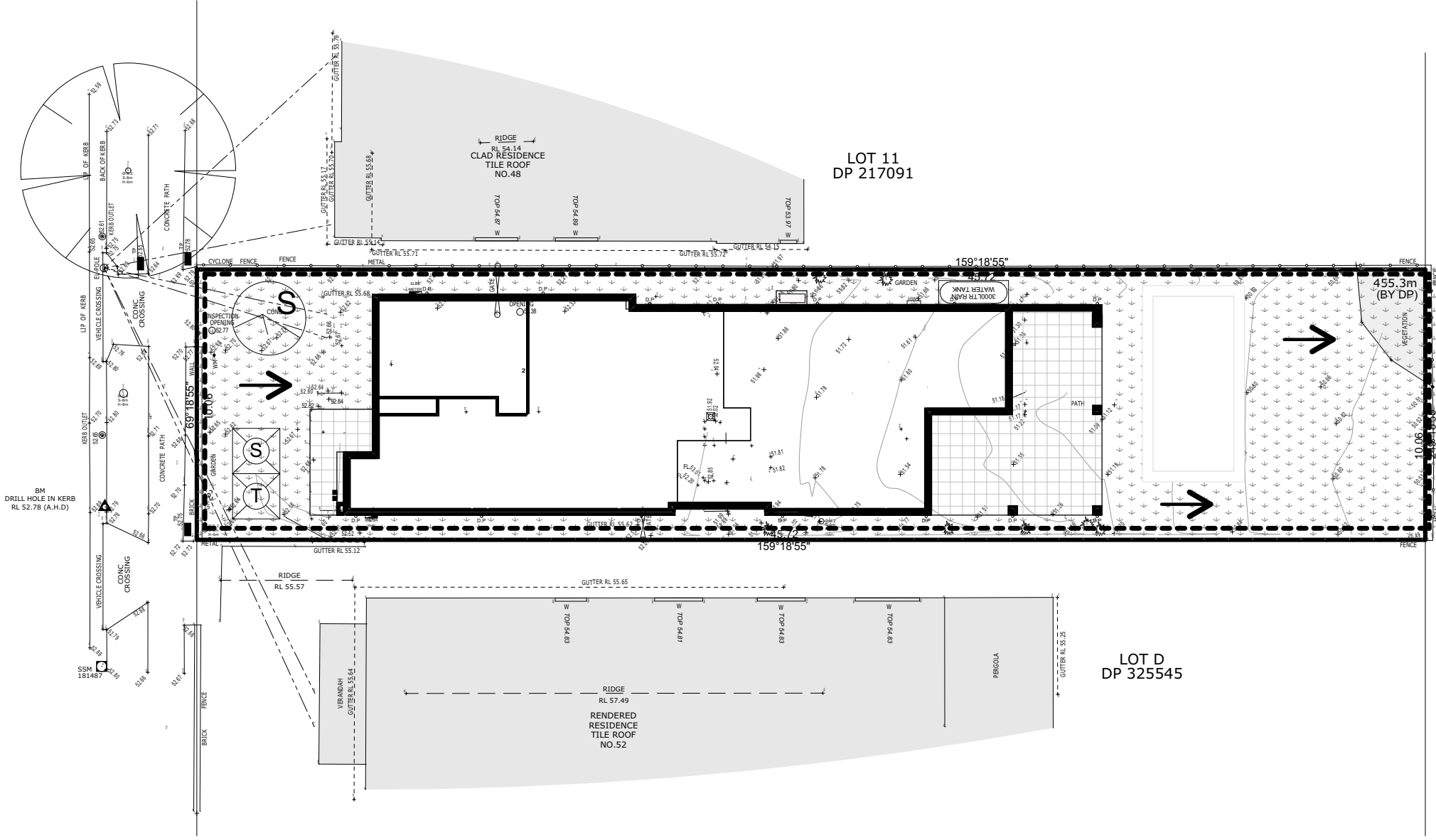
- DISTURBED AREA
- UNDISTURBED VEGETATION
- FALL
- SEDIMENT FENCE
- TEMP FENCING
- T

TEMP TOILET
- S

MATERIAL STORAGE
- GRAVEL ACCESS
- GEOTEXTILE FILLED WITH GRAVEL
- S

TEMP. STOCK PILES

PHILLIP STREET

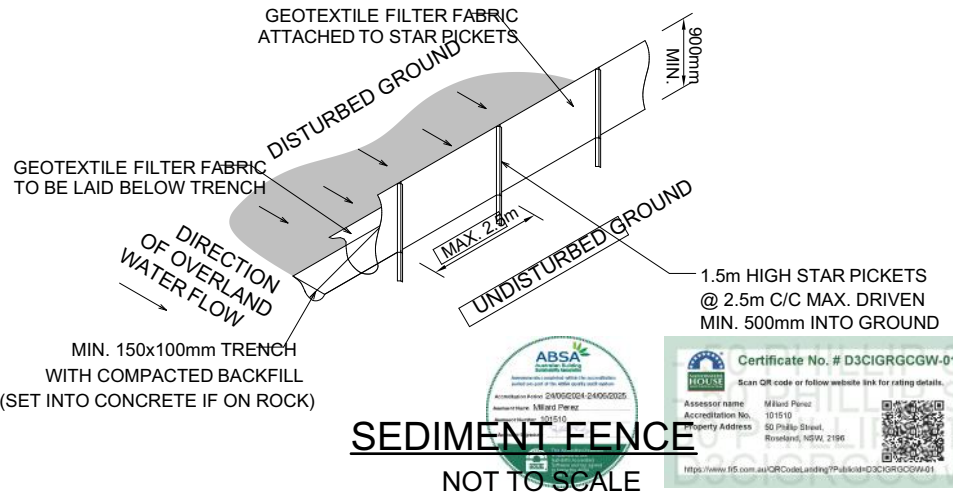


EXISTING TREE TO BE PROTECTED

1500 MINIMUM
800 MIN
2.1m STAR PICKETS @ 1.8m C/C MAX.
F62 MESH WIRED TO STAR PICKETS

F62 MESH OVER GEOTEXTILE FABRIC WITH MIN. 100mm DEPTH OF HARDWOOD CHIP OR OTHER SUITABLE MATERIAL

TREE PROTECTION DETAIL



SEDIMENT FENCE
NOT TO SCALE

NOTES

- OVERHANGING BRANCHES TO BE PRUNED TO ABOVE MACHINE HEIGHT BY QUALIFIED TREE WORKERS.
- UPON COMPLETION OF CONSTRUCTION WORKS, PROTECTION TO BE REMOVED. REINSTATE MULCH TO NATURAL GROUND.
- TREE PROTECTION MEASURES TO BE MAINTAINED AND SUPERVISED THROUGHOUT THE CONSTRUCTION PROCESS AND INSPECTED DAILY BY THE SITE SUPERVISOR
- FENCING TO BE ERECTED STURDY ENOUGH TO RESIST THE IMPACT OF CONSTRUCTION VEHICLES WHERE REQUIRED.

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ISSUE	AMENDEMENT	DATE
A	FIRST SKETCH	05.03.24
B	Amendment	27.03.24
C	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-

SEDIMENT AND WASTE MANAGEMENT

SHEET No: 11/23

JOB No: J093

OWN BY: R.A.

SCALE: 1:200

CLIENT: Pashupati Pokhrel & Kamala Devkota Pokhrel

SITE ADDRESS: LOT C, DP 325545

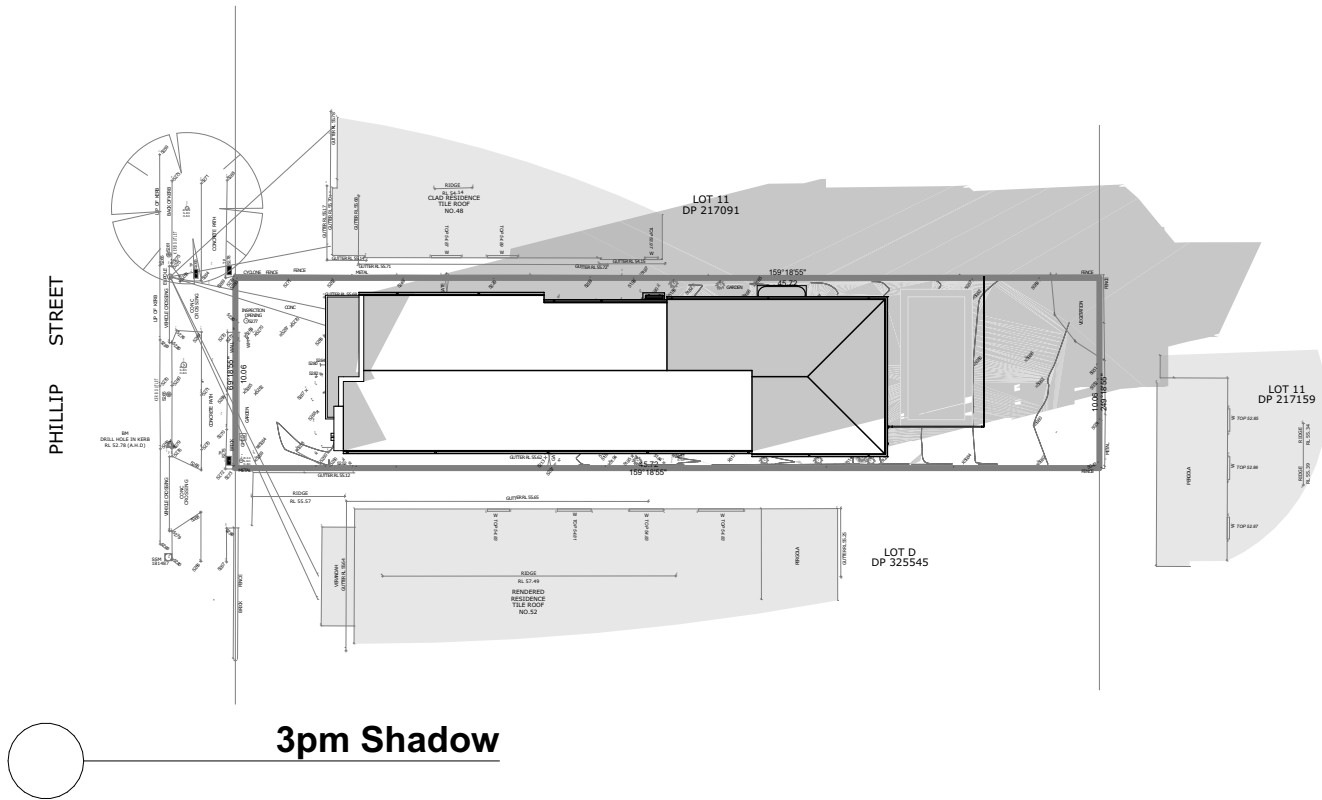
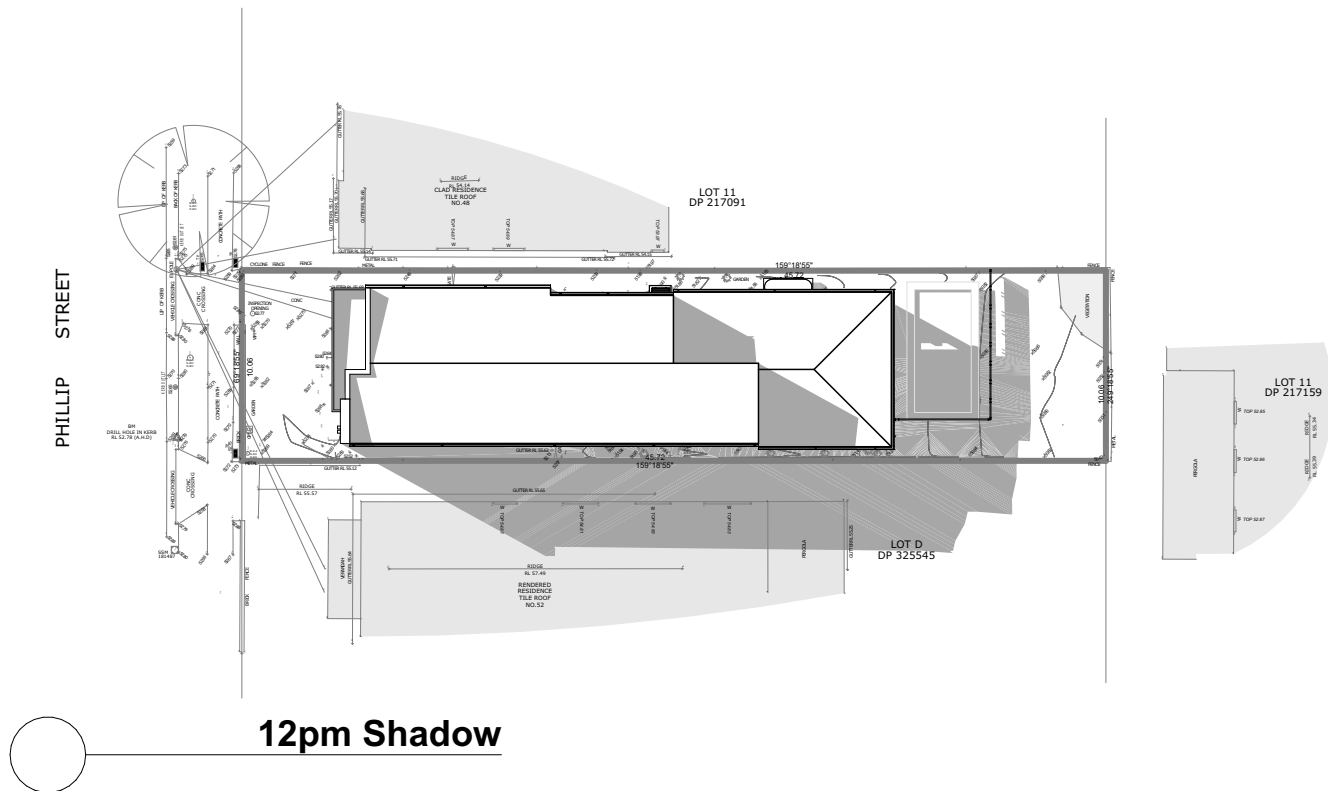
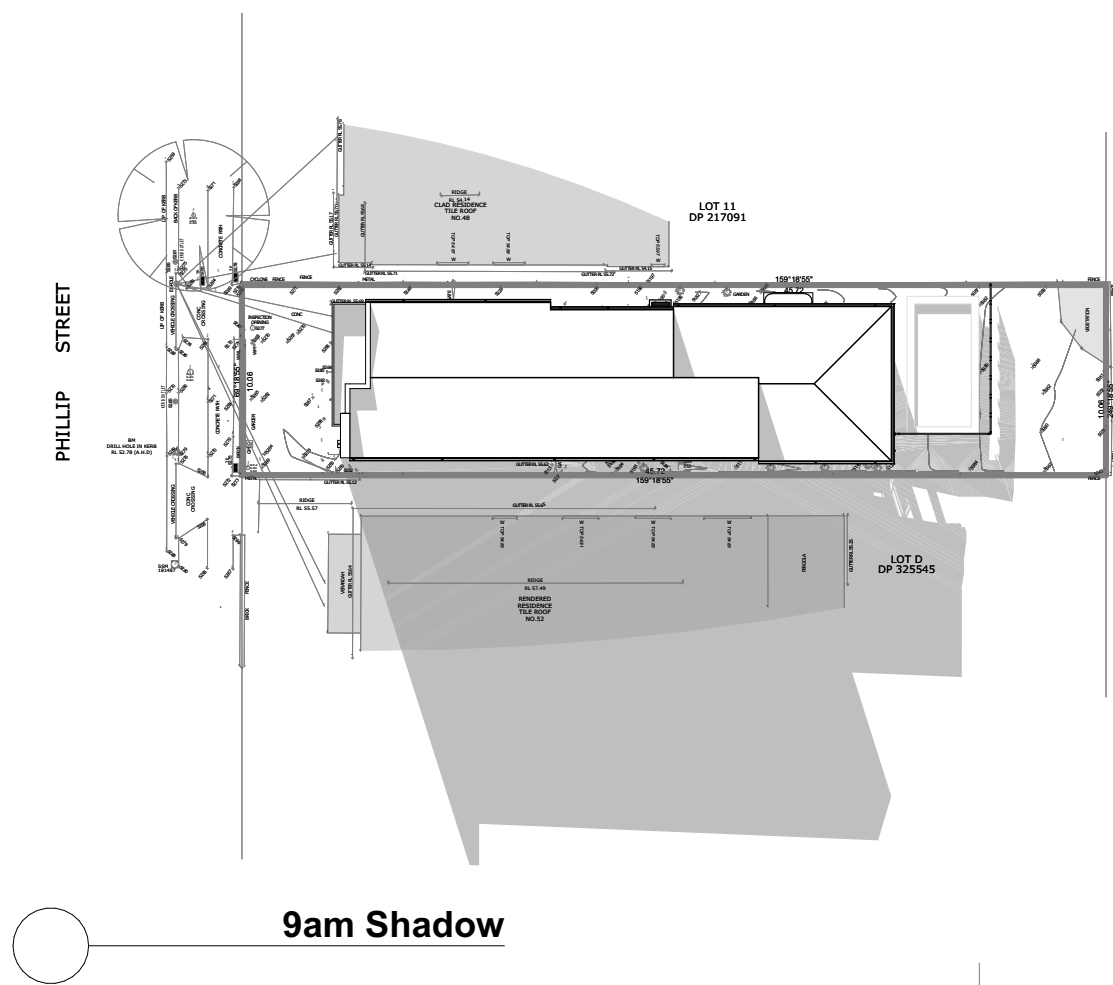
50 Phillip Street

Roseland, NSW, 2196

DATE: 05.03.24

ISSUE: C





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ISSUE	AMENDEMENT	DATE
A	FIRST SKETCH	05.03.24
B	Amendment	27.03.24
C	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-

SHADOW			
SHEET No:	JOB No:	DRAWN BY:	SCALE:
12/23	J093	R.A.	1:400
CLIENT:			
Pashupati Pokhrel & Kamala Devkota Pokhrel			

SITE ADDRESS:	
LOT C, DP 325545	
50 Phillip Street	
Roseland, NSW, 2196	
DATE:	ISSUE:
05.03.24	C



Certificate number: 17507205_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Definitions' dated 10/05/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 08 October 2024
To be used, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary			
Project name	50 Phillip_02		
Owner address	50 PHILLIP Street ROSELANDS 2196		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	Deceptated Plan DP325545		
Lot no.	0		
Section no.	0		
Project type	dwelling house (detached)		
No. of bedrooms	5		
Project score			
Water	✓ 40	Target 40	
Thermal Performance	✓ Pass	Target Pass	
Energy	✓ 72	Target 72	
Materials	✓ 100	Target n/a	

Certificate Prepared by	
Name / Company Name	MARK ARCHITECTURAL SERVICES PTY LTD
ABR (if applicable)	4028140557

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_02_P1_0 Certificate No.: 17507205_02 Tuesday, 08 October 2024 page 1/10

Water Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
The swimming pool must not have a volume greater than 23 kilolitres.	✓	✓	✓
The swimming pool must be outdoors.	✓	✓	✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_02_P1_0 Certificate No.: 17507205_02 Tuesday, 08 October 2024 page 4/10

Thermal Performance and Materials commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Glazing The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.	✓	✓	✓
Frames Minimum area - m2			
aluminium	71.65		
timber	0		
UPVC	0		
steel	0		
composite	0		
Glazing Minimum area - m2			
single	15.41		
double	58.05		
triple	0		

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Legend
In these commitments, "applicant" means the person carrying out the development. Commitments identified with a W in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). Commitments identified with a V in the "Show on CCDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. Commitments identified with a C in the "Certifier check" column must be certified by a verifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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Description of project

Project address	Assessor details and thermal loads
Project name	50 Phillip_02
Street address	50 PHILLIP Street ROSELANDS 2196
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deceptated Plan DP325545
Lot no.	0
Section no.	-
Project type	Project score
Project type	dwelling house (detached)
No. of bedrooms	5
Site details	
Site area (m²)	495
Roof area (m²)	224
Conditioned floor area (m²)	221.6
Unconditioned floor area (m²)	15.3
Total area of garden and lawn (m²)	100
Roof area of the existing dwelling (m²)	0

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Thermal Performance and Materials commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Simulation Method The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Control Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of the certificate and the "Construction" and "Glazing" tables below. The applicant must show on the plans accompanying the development application for the proposed development, all values which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to verify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate / complying development certificate, if applicable, all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. The applicant must show on the plans accompanying the development application for the proposed development, the location of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate / complying development certificate, if applicable, the location of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

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Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous - ducted. Energy rating: EER 3.0 - 3.5	✓	✓	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning - ducted. Energy rating: EER 3.0 - 3.5 The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning - ducted. Energy rating: EER 3.0 - 3.5	✓	✓	✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning - ducted. Energy rating: EER 3.5 - 4.0 The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase air conditioning - ducted. Energy rating: EER 3.5 - 4.0	✓	✓	✓
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch only Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch only Laundry: natural ventilation only, or no laundry. Operation control: n/a	✓	✓	✓
Artificial lighting The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps	✓	✓	✓
Natural lighting The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting	✓	✓	✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_02_P1_0 Certificate No.: 17507205_02 Tuesday, 08 October 2024 page 6/10

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Fixtures The applicant must install showerheads with a maximum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development. The applicant must install a toilet flushing system with a maximum rating of 3 star in each toilet in the development. The applicant must install taps with a maximum rating of 3 star in the kitchen in the development. The applicant must install basin taps with a maximum rating of 3 star in each bathroom in the development.	✓	✓	✓
Alternative water Rainwater tank The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 75 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private item). The applicant must connect the rainwater tank to: • all toilets in the development • the cold water tap that supplies each clothes washer in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)	✓	✓	✓
Swimming Pool	✓	✓	✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_02_P1_0 Certificate No.: 17507205_02 Tuesday, 08 October 2024 page 3/10

Thermal Performance and Materials commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Construction The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the table below. The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the table below.	✓	✓	✓
Construction Area: m²			
Rear - concrete slab on ground, walls pool slab	122.1		
Rear - suspended floor above open outdoor, AAC panel (75 mm) frame timber - F2 treated subfloor	1		
Rear - above habitable rooms or enclosure, AAC panel (75 mm) frame timber - F2 treated subfloor	32.9		
Rear - suspended floor above garage, AAC panel (75 mm) frame timber - F2 treated subfloor	21.5		
garage floor - concrete slab on ground, walls pool slab	21.5		
external wall: brick veneer: frame: timber - F2 treated subfloor	all external walls		
external garage wall: cavity brick, frame: no frame	12.6		
external garage wall: brick veneer: frame: timber - F2 treated subfloor	16.5		
internal wall: plasterboard, frame: timber - F2 treated subfloor	180.6		
internal wall: plasterboard, frame: timber - F2 treated subfloor	54.83		
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - F2 treated subfloor	149.91		
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - F2 treated subfloor	24		

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_02_P1_0 Certificate No.: 17507205_02 Tuesday, 08 October 2024 page 6/10

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
The applicant must install a window and/or skylight in a bathroom(s) in the development for natural lighting.	✓	✓	✓
Swimming pool The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): electric heat pump The applicant must install a pump for the swimming pool in the development. The applicant must install a timer for the swimming pool pump in the development.	✓	✓	✓
Alternative energy The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system. The photovoltaic system must consist of: • a photovoltaic collector with the capacity to generate at least 2.6 peak kilowatts of electricity, installed at an angle between 10 degrees and 22 degrees to the horizontal facing west	✓	✓	✓
Other The applicant must install a gas cooking & electric oven in the kitchen of the dwelling. The applicant must install a food outdoor clothes drying line as part of the development.	✓	✓	✓

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_02_P1_0 Certificate No.: 17507205_02 Tuesday, 08 October 2024 page 9/10

BASIX/NATHERS Project Commitments

Proposed: Proposed Double Storey Dwelling with Outdoor Pool
Address: 50 Phillip Street, Roseland NSW
Lot No. / DP: C/DP325545
Note: Refer to certifications for full details and confirmation of all items

Water	Specification
Shower Head Rating	3 star (> 7.5 but <= 9 L/min)
Toilet Rating	3 star
Kitchen Taps Rating	3 star
Bathroom Taps Rating	3 star
Alternative Water Details	
Rainwater Tank	Minimum 3,000L to collect runoff of at least 75sqm of roof area
Pool/Spa Details	
Outdoor Pool	Maximum 23kL volume
Thermal Comfort	
External Walls	Requirements
Brick Veneer, Plasterboard	Glass fibre batt: R2.7
Internal Walls	
Cavity Stud Walls, Direct Fix Plasterboard	Glass fibre batt: R2.5 to Garage, Laundry, Powder and Bathroom internal walls
Ceiling	
Plasterboard	Glass fibre batt: R5.0
Roof	
Sheet Metal Roof	55mm foil backed blanket under sheet metal roof
Floors	
Concrete Slab On Ground	Waffle Pod Slab (280mm)
Joists/Bearers	Waffle panels and R3.0 between joists/bearers
Ceiling Fans	
≥ 900mm diameter ceiling fan	To Guest Bed
≥ 1200mm diameter ceiling fan	To Sitting and throughout First Floor Bedrooms
≥ 1400mm diameter ceiling fan	To Family Void
Windows (Refer to NATHERS Certificate for locations, types and values required to be achieved)	
Downlights	
Sealed Downlight Covers	Sealed downlight covers to be used to all downlights where insulation is installed.
Energy	
Hot Water	Specification
Individual System	Rating
Gas instantaneous	6 stars
Ventilation	
Bathroom Ventilation System	Individual fan, ducted to facade or roof (interlocked to light with timer off)
Kitchen Ventilation System	Individual fan, ducted to facade or roof (manual switch on/off)
Laundry Ventilation System	Natural ventilation only
Cooling (Zoned)	
Individual Systems - Living Areas	1 phase air conditioning
Individual Systems - Bedroom Areas	EER 3.0 - 3.5
Individual Systems - Bedroom Areas	EER 3.0 - 3.5
Heating (Zoned)	
Individual Systems - Living Areas	1 phase air conditioning
Individual Systems - Bedroom Areas	EER 3.5 - 4.0
Individual Systems - Bedroom Areas	EER 3.5 - 4.0
Appliances	
Cooktop/Oven	Gas cooktop & electric oven
Outdoor/Unsheltered Clothes Drying Line	Yes
Indoor/Sheltered Clothes Drying Line	No
Alternative Energy	
Photovoltaic System	Minimum capacity of producing 2.6kW's of peak electricity
Pool/Spa Details	
Heating System	Heat pump heating system
Pump controlled by timer	Yes



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ISSUE	AMENDEMENT	DATE
A	FIRST SKETCH	05.03.24
B	Amendment	27.03.24
C	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

CLIENT:

Pashupati Pokhrel & Kamala Devkota Pokhrel

SITE ADDRESS:

LOT C, DP 325545,
50 Phillip Street Roseland NSW 2196,

PROJECT NUMBER:

J093

SHEET TITLE:

Basix

DATE: 10/10/2024
DRAWN BY: R.A.
COUNCIL: CANTERBURY-BANKSTOWN

SHEET No: 13
ISSUE: C
SCALE: 1:4, 1:3.33



Generated on 27 Sep 2024 using ProfitMax: 5.5% (+2.2%) for COP205456, 50 Philip Street, Roseland, NSW, 2196					NW, 2196				
DSCIRGGCOW-01 Nathers					7.1 Star Rating as of 27 Sep 2024				
Kitchen/Family D- ring					Ties				
Master Bed/Ensuite					Timber				
Master Bed/Ensuite					Timber				
Master Bed/Ensuite					Timber				
Bath					Timber				
Family Void					No Floor				
Bed 3					Timber				
Bed 2					Timber				
Master WVR					Timber				
Master WVR					Timber				
Rumpus/Passage					Timber				
Bed 2					Timber				
Bed 2 Ensuite 2					Timber				
Ceiling type					Bulk Insulation R-value [may include edge bolt values]				
Location					R				
Garage					N				
Mjr					N				
Guest Bed/Bath 2					N				
Guest Bed/Bath 2					N				
WIP					N				
Powder					N				
Laundry					N				
Kitchen/Family D- ring					N				
Master Bed/Ensuite					N				
Master Bed/Ensuite					Y				
Master Bed/Ensuite					Y				

[illegible]

The image shows two documents related to financial planning certification. On the left is a circular logo for the American Board of Standards and Practices (ABSA) Accredited Member. The logo includes the text: "ABSA Accredited Member", "International Board of Standards and Practices for Certified Financial Planners", "Accreditation Number: 240650204-240650205", "Member Name: Mildred Perez", "Member Number: 301510", and "Member Signature: [Signature]". Below the logo is a small icon of a house with a checkmark. On the right is a sample of a Certificate of Accreditation from the International Board of Standards and Practices for Certified Financial Planners (IBCFP). The certificate includes the text: "Certification of Accreditation", "Scan QR Code", "Assessor name: [Name]", "Accreditation No. [Number]", "Property Address [Address]", and a URL: "https://www.ibs.com.au".

[illegible]

ISSUE	AMENDEMENT	DATE
A	FIRST SKETCH	05.03.24
B	Amendment	27.03.24
C	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

CLIENT:

Pashupati Pokhrel & Kamala
Devkota Pokhrel

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PROJECT NUMBER:

J093

SHEET TITLE:

Nathers

DATE:	DRAWN BY:	COUNCIL:
10/10/2024	R.A.	CANTERBURY-BANKSTOWN

SHEET No:	ISSUE:	SCALE:
14	C	1:3.57