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CLIENT NAME: Pashupati Pokhrel & Kamala Devkota Pokhrel LOT C, DP 325545, 50 Phillip Street Roseland NSW 2196,

3D IMAGE IS FOR ILLUSTRATIVE PURPOSE ONLY

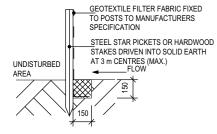




Sheet Number	Sheet Name
1	PERSPECTIVE
2	SITE PLAN
3	Site Analysis
4	Colour Selection
5	Demolition Plan
6	GROUND FLOOR
7	FIRST FLOOR
8	ELEVATION
9	ELEVATION
10	SECTION
11	SEDIMENT AND WASTE MANAGEMENT PLAN
12	SHADOW
13	Basix
14	Nathers



CALCULATIONS LOT C | SITE AREA 455.3m² <u>NOTE</u> ALL DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. ROOM SIZES ARE SUBJECT TO SELECTED WALL FINISHES **FLOOR AREA** 37.43 Alfresco 7.06 Balcony First Floor 124.95 23.63 Garage Ground Floor 157.82 6.64 Porch Voids 8.41 21.32 Voids 387.26 m² **Gross Floor Area** First Floor 109.24 141.80 **Ground Floor** 251.04 m²

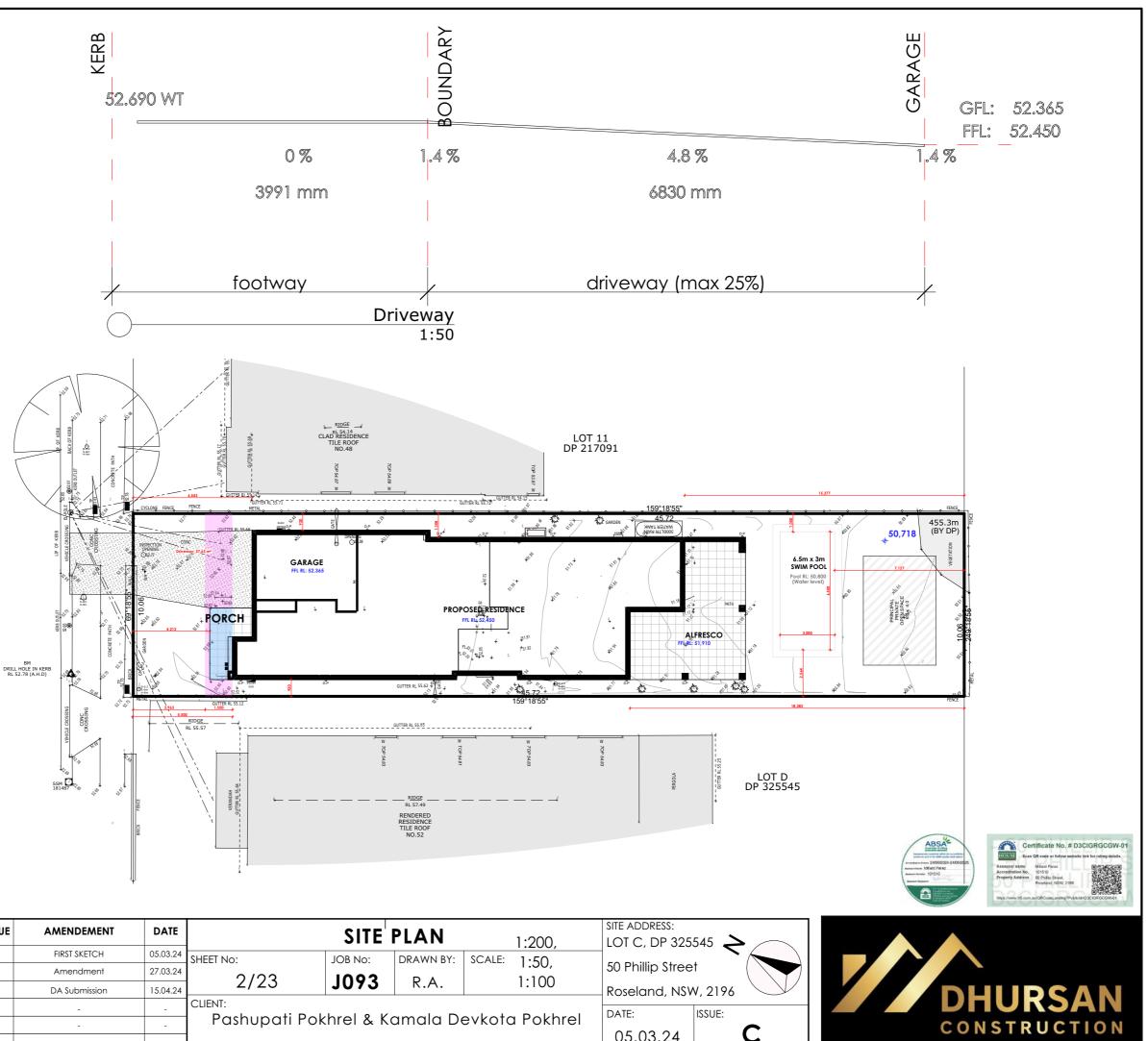


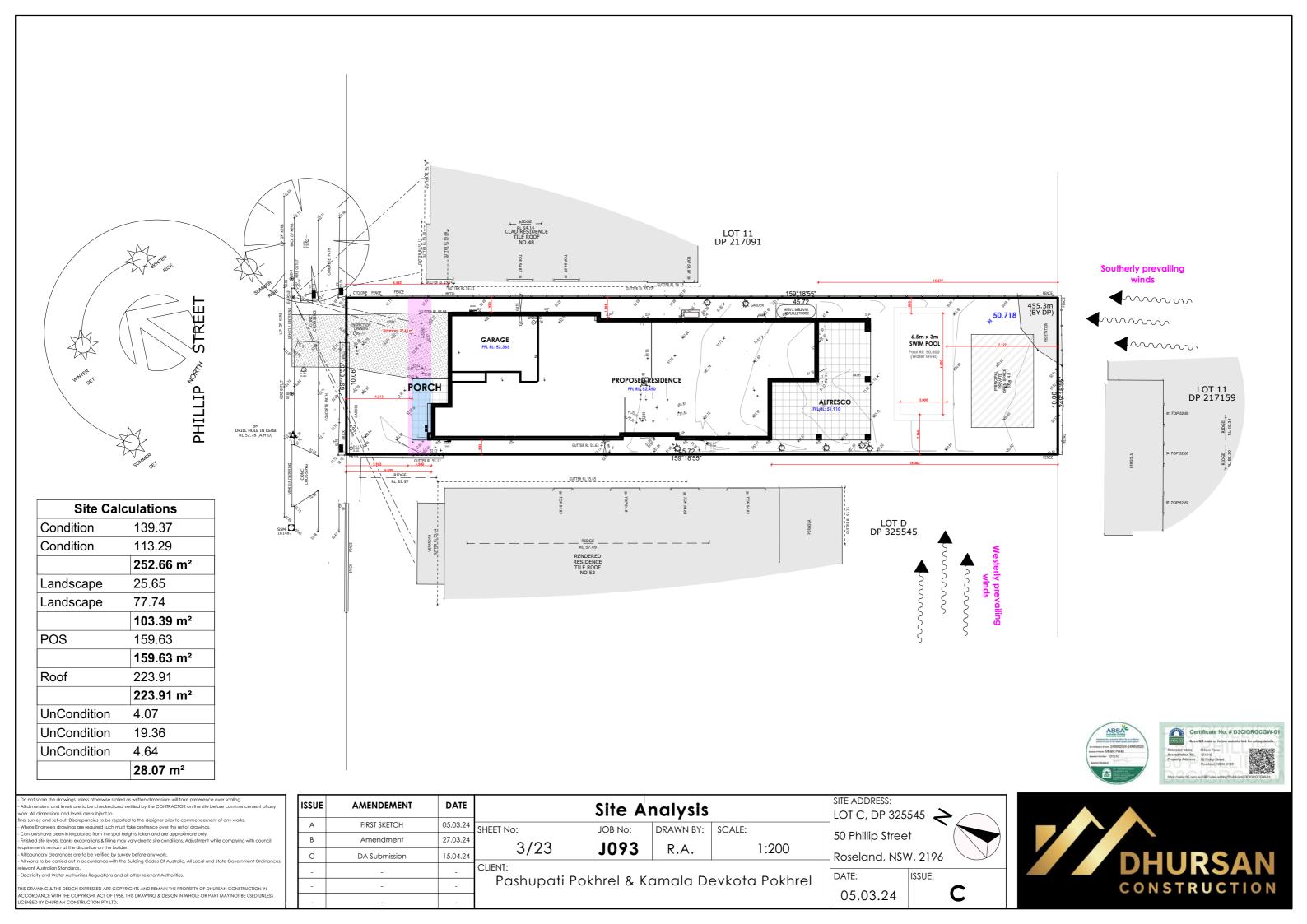
STREET

PHILLIP

1. SILTATION FENCING IS TO BE PLACED AS SHOWN ON THE SITE PLAN SO AS TO PREVENT SILT RUN OFF TO ANY ADJOINING PROPERTY OR THE STREET. THIS MEASURE IS TO BE PLACED PRIOR TO ANY EXCAVATION WORK AND IS TO BE REMOVED ONLYWHEN THE SITE SURFACE HAS BEEN STABILIZED, IE PAVED, LANDSCAPED OR TURFED.

2. CRUSHED ROCK AGGREGATE (40 mm) IS TO BE PLACED AS AN ACCESS DRIVEWAY TO THE SITE AND MUST BE MAINTANED THROUGHOUT THE COURSE OF CONSTRUCTION SOIL EROSION AND SEDIMENTATION CONTROL		ļ								
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- Where Engineers drawings are required such must take preference over this set of drawings Contours have been interpolated from the spot heights taken and are approximate only.	A	FIRST SKETCH	05.03.24	SHEET No:	JOB No:	DRAWN BY:	SCALE:	1:50,	EO Dhilling Street	
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relevant Australian Standards, - Electricity and Water Authorities Regulations and all other relevant Authorities.	-	-	-	CLIENT:	akbral Q K		oulcoto	Dakhral	DATE:	ISSUE:
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EXTERNAL COLOUR SCHEDULE

With the extensive range of Brickworks products, you can create a beautiful, long lasting home that will give you great pleasure, comfort and durability for a lifetime.

COLOUR CONSULTANT:	Ashley McCarren	STUDIO/CENTRE:	Colour Studio Oakdale
CLIENT NAME:	Pashupati & Kamala Pokhrel	TODAY'S DATE:	29/05/2024
EMAIL:	pashupatipokhrel@hotmail.com	PHONE:	0432 827 004
PROJECT ADDRESS:	50 Philip Street, Austral NSW 2179	BUILDER:	Dhursan Constructions
JOB NUMBER/ PACKAGE:	-	BUILDING TYPE:	Double Storey

HOUSE DETAILS			A. 200	
BRICK SUPPLIER:	Austral			
BRICK RANGE:	Wilderness			
BRICK COLOUR:	Blackbutt			
MORTAR:	Off White		JOINTS: Flush	
			s sarrasi rasii	
FEATURE LOCATION				
FEATURE BRICK:	N/A			
MORTAR:	N/A		JOINTS: N/A	
ROOF SUPPLIER:	Metal			
ROOF PROFILE:	Custom Orb			
COLOUR:	Colorbond M	lonument		
PARAPET ROOF:	Colorbond M	lonument	BARGE:	N/A
PARAPET CAPPING:	Colorbond M	onument	BARGE CAPPING:	N/A
FASCIA:	Colorbond M			
GUTTER:	Colorbond M	onument		
RAINWATER TANK:	Poly Monum	ent (Charcoal)		
BALCONY RAIL:	Glass Balustr	ade with Chrome fin	ish Top Rail	
WINDOWS:	SUPPLIER:		COLOUR: Monument	Matt
PRIVACY SCREEN: (if applicable)	Aluminium Finish:	Powder Coated	COLOUR:	
GARAGE DOORS:		1		
OARAGE DOOKS:	SUPPLER:	Doorworks		
	PROFILE:	Flat Woodgrain		
	COLOUR:	Caoba (Builder t	to Raise Variation)	
REAR GARAGE:	COLOUR:	N/A		
DRIVEWAY:	SUPPLIER:	TBC with Builder		
	FINISH:	Plain		
	COLOUR:	Gunmetal		

brickworksbuildingproducts.com.au | 13-brick (13 2742)

EXTERNA	AL PAINT	COLOUR SELECTION
FRONT DOOR & F	RAME:	Taubmans Monument (CB)
		Dark Paint or Stain Colours (of which have an LRV of under 50) may void the
BALCONTI DOOD		Manufacturers Product warranty
BALCONY DOOR 8	& FRAME:	Aluminium Sliding - Monument
ALFRESCO DOORS	ç.	Aluminium Sliding – Monument
		Aldininium Sliding – Monument
LAUNDRY DOOR:		Aluminium Sliding - Monument
		souther and souther
GARAGE HINGED	DOOR:	N/A
PVC DOWNPIPES:		Taubmans Monument (CB)
METER BOX:		
METER BOX:		Taubmans Monument (CB)
EAVES/VERANDAR	L CELLINGS	
LITTEO/ TERANDAI	I CEILINGS:	Taubmans Crisp White
RENDER TO WIR/I	LOUNGE	Taubmans Monument (CB)
FEAUTURE C PROJ	ECTION:	radomans Monument (CB)
ALUCOBOND TO B.	ALCONY C	Dark Grey Metallic (505)
PROJECTION		5
RENDER TO REMA FACADE:	INING FRONT	Taubmans Surfmist (CB)
ALUMINIUM POST	S:	Decowood - Wenge (Builder to Raise Variation)
		EXTERNAL DOORS
FRONT DOOR:	PROFILE:	Grange Fiber Glass Door (Builder to GLAZING: N/A

FRONT DOOR:	PROFILE:	Grange Fiber Glass Door (Builder to Raise Variation)	GLAZING:	N/A
LAUNDRY DOOR:	PROFILE:	Aluminium Sliding	CLATING.	
BALCONY DOOR:	PROFILE:	Aluminium Sliding	GLAZING:	Clear
ALFRESCO		Aluminium Sliding	GLAZING:	Clear
DOORS:			GLAZING:	Clear
GARAGE HINGED DOOR:	PROFILE:	N/A		

Slurry face bricks are coloured with an applied finish, therefore delivering, laying and cleaning can result in some ren of the face colour and exposure of the brick body beneath.





AUSTRAL BRICKS Wilderness, Blackbutt Off White Mortar, Iron joint



WINDOWS Monument Matt



TAUBMANS, SURFMIST Render to Front Facade excluding Feature Balcony Projection & WIR/Lounge Projection



TAUBMANS, MONUMENT Render to WIR/Lounge Projection, Downpipes, Meter Box, Front Door & Frame



ALUCOBOND, DARK GREY METALLIC Balcony C Projection









BRICKWORKS

f y Ø 🖸 in

ducts on		
n		
-	brickworksbuildingproducts.com.au 13-brick (13 2742)	

BRICKWORKS



Custom Orb, Monument



COLORBOND, MONUMENT Gutter, Fascia, Parapet Capping, Parapet Roof, Water Tank



DECOWOOD, WENGE Façade Aluminum Posts



GARAGE DOOR Flat Woodgrain, Caoba



Plain, Gunmetal

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	Zero Dama	ge - Zero Harm
ISSUE	AMENDEMENT	DATE
А	FIRST SKETCH	05.03.24
В	Amendment	27.03.24
С	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

CLIENT:

Pashupati Pokhrel & Kamala Devkota Pokhrel

SITE ADDRESS:

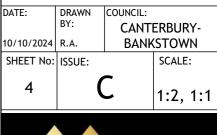
LOT C, DP 325545, 50 Phillip Street Roseland NSW 2196,

PROJECT NUMBER:

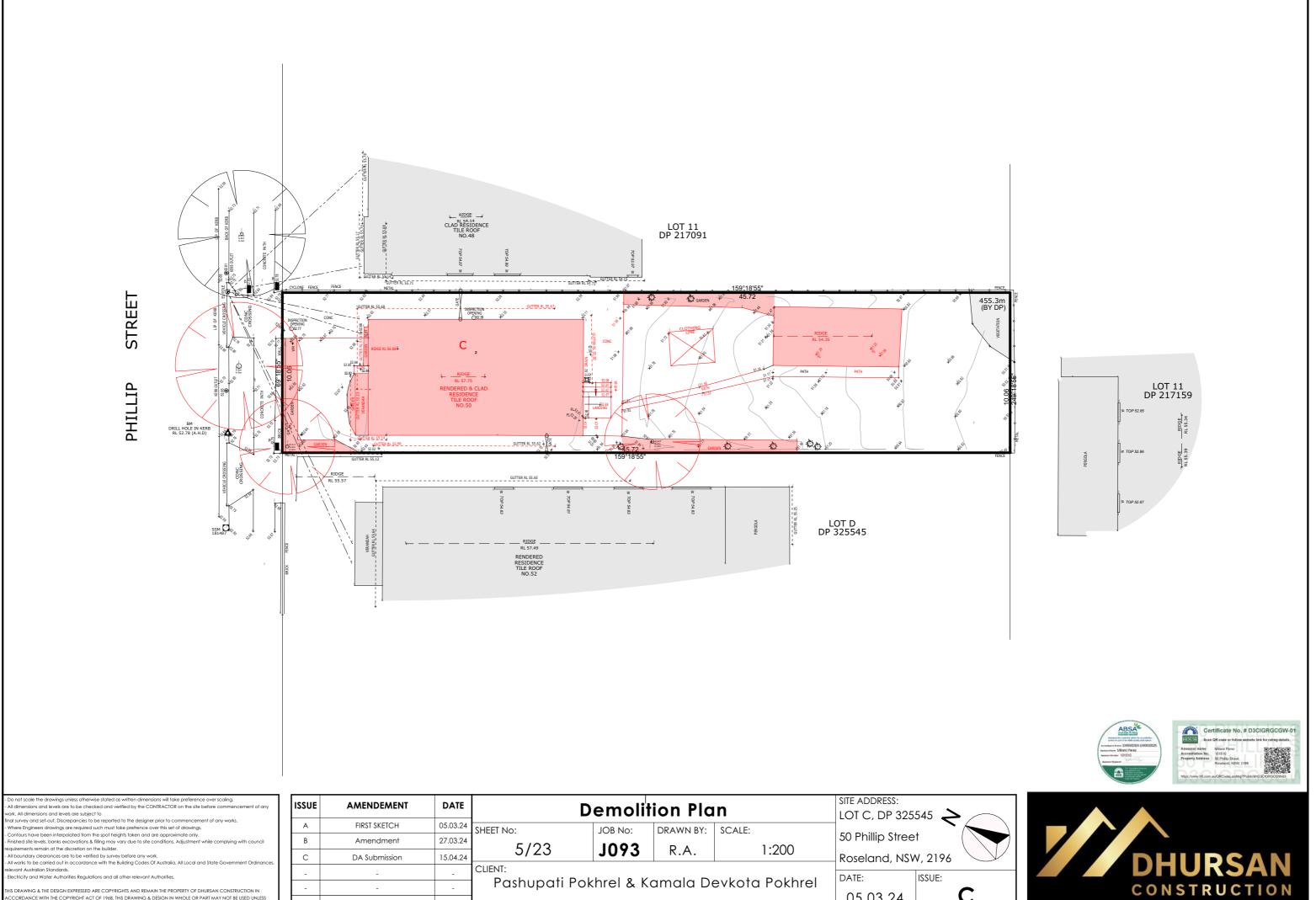
J093

SHEET TITLE:

Colour Selection







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- Electricity and Water Authorities Regulations and all other relevant Authorities.	L	-	-	-	
	L				I Pashup
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DATE: oati Pokhrel & Kamala Devkota Pokhrel 05.03.24

С

CONSTRUCTION IS TO BE IN ACCORDANCE WITH BCA AND OTHER RELEVANT AUSTRALIAN STANDARDS

TERMITE PROTECTION TO AS3660.2-2000

S SMOKE ALARM

<u>NOTE</u>

ALL DIMENSIONS ARE TO STRUCTURAL ELEMENTS ONLY. ROOM SIZES ARE SUBJECT TO SELECTED WALL FINISHES

250

25

LEGEND



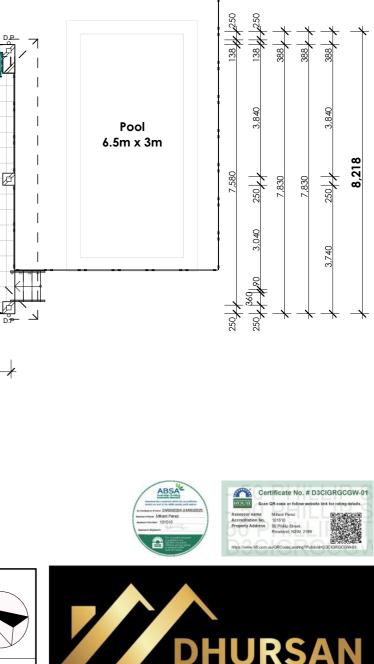


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Gross Floor A 10 First Floor Ground Floor 14 25

rea	
9.24	
1.80	
51.04	m²

37.43
7.06
124.95
23.63
157.82
6.64
8.41
21.32
387.26 m ²



CONSTRUCTION



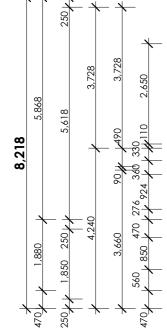
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<u>LEGEND</u>

WIR WIL WIP SQ SET Q/SLIDE AS AA ASD DW WM V	WALK IN ROBE WALK IN LINEN WALK IN PANTRY SQUARE SET QUICK SLIDE ALUMINIUM SLIDING ALUMINIUM AWNING ALUMINIUM AWNING DISHWASHER WASHING MACHINE VANITY
V LA	ARCHITECTURAL JOINT
S/O	STUD OPENING
LH RH	LEFT HAND DRAWERS RIGHT HAND DRAWERS
INT I	NIGHT HAND DIAWERS



+ ^{1,770}			20,794			
1,080 <u>250</u>	3,844 90			16,360		250
250	3,844 90 J			16,360		250
+	6,814	1,210 +641 W21	1 _{w22} 1	1,051 2,050	1	5,569
2422ASD	D.P master bed 4.00 x 4.22	D.P AS0912	AS0908 D.P ens 2 1,000 1,000 1,000 1,000 1,000 1,000 1,000	W20 W19 AA1407 D.P AS0921 AA1407 D.P AS0921 AS0921 AA1407 D.P AS0921 AS092 AS0921 AS0921 AS0921 AS0921 AS0921 AS0921 AS0921 AS0921 AS09	L1M AF1030	
M12 VI2 VI2 VI2 VI2 VI2 VI2 VI2 VI		bed 3 3.00 x 3.35 bed 3	1			bove
D.P		<u> </u>	<u> </u>	J AF2412 k W16	D.P AF2412 W04	AF2412 D.F W05
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1,770 250		11,004		3,340	5,950	250
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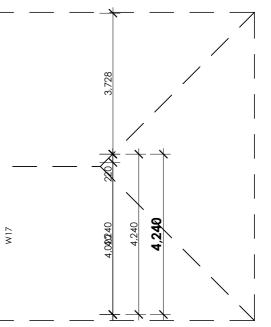
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Gross Floor

First Floor Ground Floor

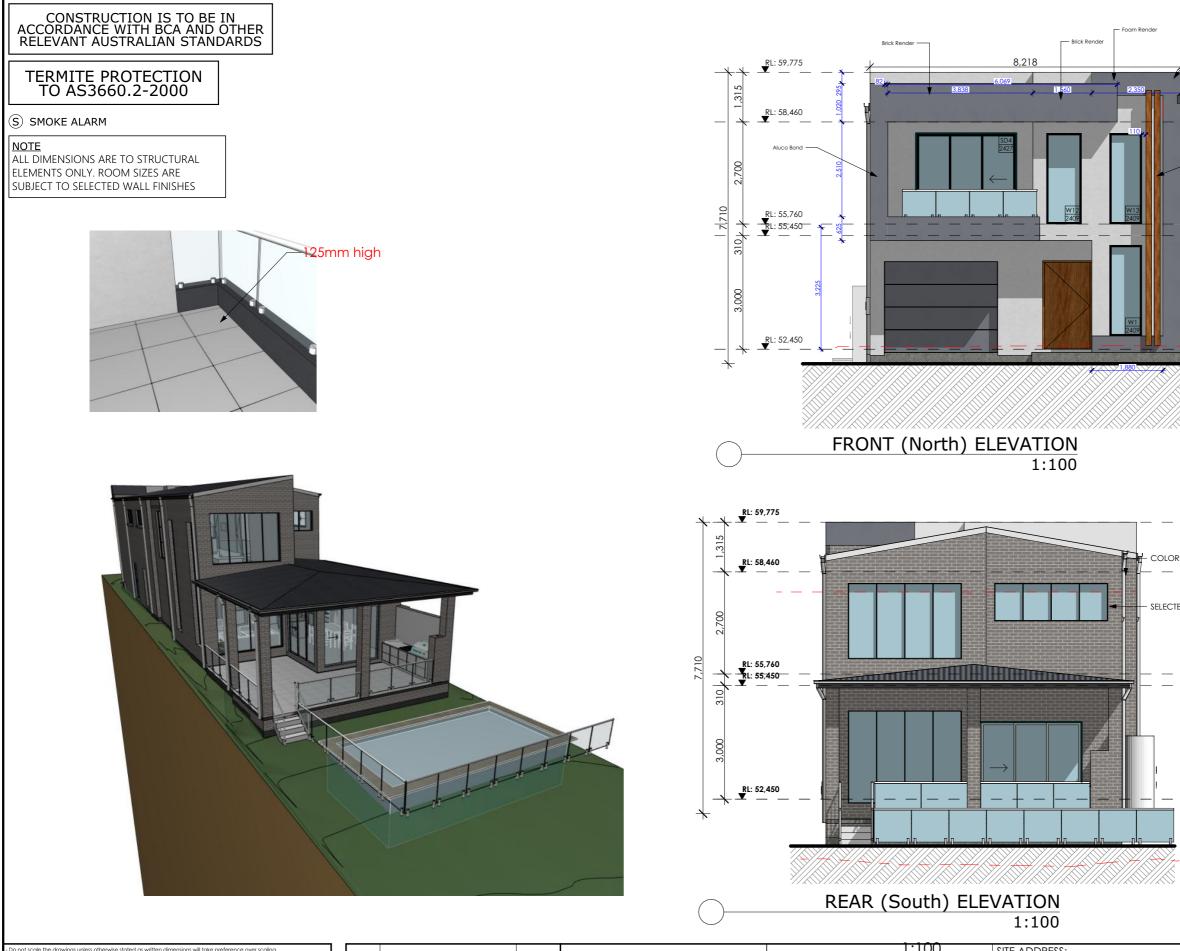
Area
109.24
141.80
251.04 m²

FLOOR AREA									
Alfresco	37.43								
Balcony	7.06								
First Floor	124.95								
Garage	23.63								
Ground Floor	157.82								
Porch	6.64								
Voids	8.41								
Voids	21.32								
	387.26 m ²								









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_ _ _

COLORBOND FASCIA & GUTTER

_ _ _

SELECTED FACEBRICK FINISH

_ _ _

Accession







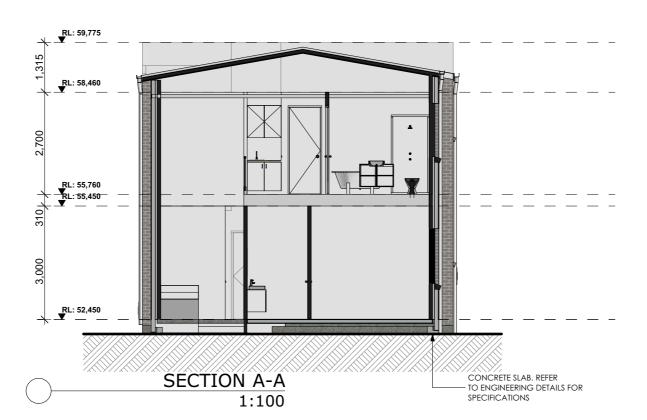
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TERMITE PROTECTION TO AS3660.2-2000

S SMOKE ALARM

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nal Doors	
Height	Width
2,400	3,000
2,340	1,200
2,340	820
2,340	820
2,340	820
2,340	720
2,040	720
2,340	720
2,340	820
2,340	720
2,340	820
2,340	820
2,340	720
2,340	820
2,340	720
2,340	720
2,340	820
2,400	2,145
2,400	2,780
2,400	1,850
2,400	3,038
2,400	1,669
2,400	1,571
2,400	2,756
2,400	2,677
2,400	1,450
2,400	2,650
	Height 2,400 2,340 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400 2,400



External Door Schdeule										
Window Number	Height	Width	Туре							
SD1	2,400	2,756	Sliding door Multi-panels							
SD2	2,400	2,677	Sliding door Multi-panels							
SD3	2,400	1,450	Sliding door Multi-panels							
SD4	2,400	2,650	Sliding door Multi-panels							

Wind
Numb
niche
W1
W04
W05
W06
W08
W09
W10
W11
W12
W13
W14
W15
W16
W17
W17
W19
W20
W21
W22

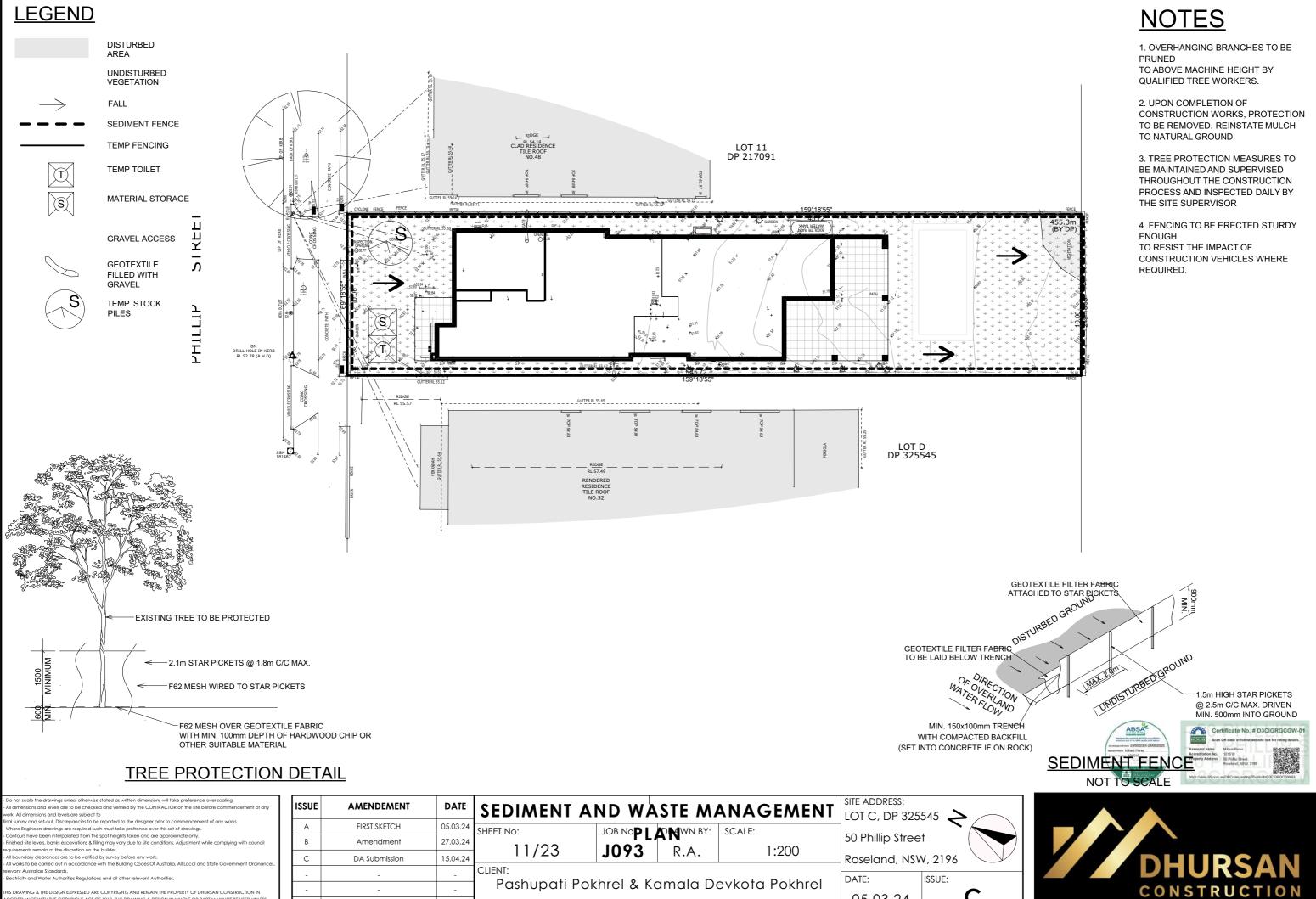
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	Window Schedule												
ow ber	Height	Width	Window type	Glass Material									
e	450	1,000		MISSING									
	2,400	850	Fixed	Glass - CLEAR									
4	5,200	900		Glass - OBSCURE									
5	5,200	900		Glass - OBSCURE									
6	2,450	3,000	Fixed	Glass - CLEAR									
8	600	2,000	Fixed	Glass - CLEAR									
9	600	1,500	Fixed	Glass - CLEAR									
C	1,450	1,810	Sliding	Glass - CLEAR									
1	850	1,810	Sliding	Glass - CLEAR									
2	2,400	924	Fixed	Glass - CLEAR									
3	2,400	850	Fixed	Glass - CLEAR									
4	850	2,050	Sliding	Glass - CLEAR									
5	850	2,050	Sliding	Glass - CLEAR									
6	2,400	1,210		Glass - CLEAR									
7	1,000	3,000	Fixed	Glass - CLEAR									
7	2,000	3,000	Fixed	Glass - CLEAR									
Э	850	2,050	Sliding	Glass - CLEAR									
0	1,400	650	Awning	Glass - OBSCURE									
1	850	1,210	Sliding	Glass - OBSCURE									
2	850	750	Sliding	Glass - OBSCURE									

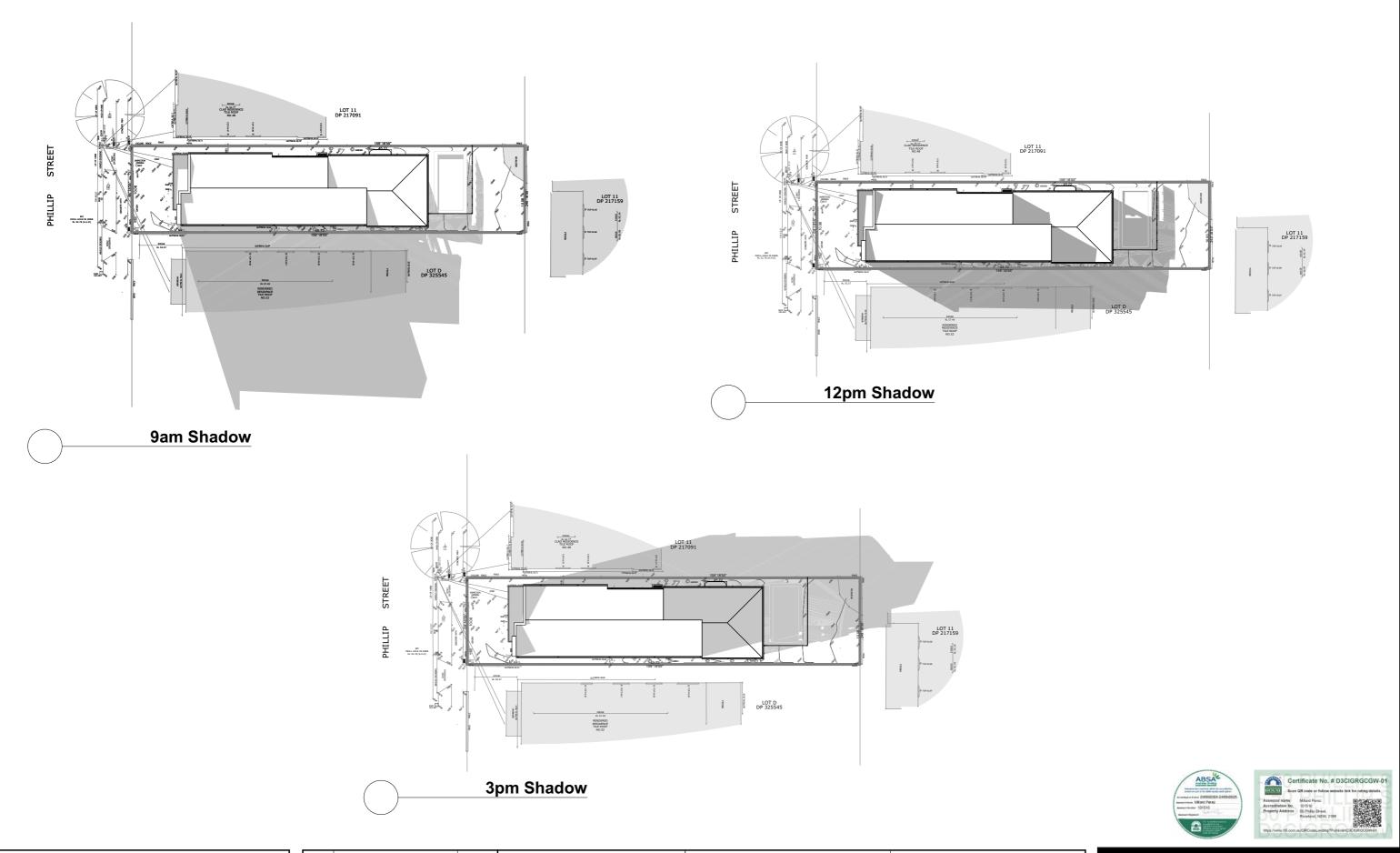


CONSTRUCTION





Do not scale the drawings unless otherwise stated as written dimensions will take preference over scaling. All dimensions and levels are to be checked and verified by the CONTRACTOR on the site before commencement of any work. All dimensions and levels are subject to	ls	SUE	AMENDEMENT	DATE	SEDIMENT A		STE M	ANAGEMENT	SITE ADDRESS: LOT C, DP 325	545 🔺 🦳
final survey and set-out. Discrepancies to be reported to the designer prior to commencement of any works. - Where Engineers drawings are required such must take prefence over this set of drawings.		A	FIRST SKETCH	05.03.24	SHEET NO:			SCALE		
 Contours have been interpolated from the spot heights taken and are approximate only. Finished site levels, banks excavations & filing may vary due to site conditions. Adjustment while complying with council requirements remain at the discretion on the builder. 		В	Amendment	27.03.24	11/23				50 Phillip Stree	et (
 All boundary clearances are to be verified by survey before any work. All works to be carried out in accordance with the Building Codes Of Australia, All Local and State Government Ordinances, 		с	DA Submission	15.04.24	11/23	J093	R.A.	1:200	Roseland, NS	W, 2196
relevant Australian Standards, - Electricity and Water Authorities Regulations and all other relevant Authorities.		-	-	-	CLIENT:	Pashupati Pokhrel & Kamala Devkota Pokhrel				ISSUE:
THIS DRAWING & THE DESIGN EXPRESSED ARE COPYRIGHTS AND REMAIN THE PROPERTY OF DHURSAN CONSTRUCTION IN		-	-	-	Pashupati Pok	DATE:	^			
ACCORDANCE WITH THE COPYRIGHT ACT OF 1968. THIS DRAWING & DESIGN IN WHOLE OR PART MAY NOT BE USED UNLESS LICENSED BY DHURSAN CONSTRUCTION PTY LTD.		-	-	-					05.03.24	



 Do not scale the drawings unless otherwise stated as written almensions will take preference over scaling. All dimensions and levels are to be checked and verified by the CONTRACTOR on the site before commencement of any work. All dimensions and levels are subject to 	ISSUE	AMENDEMENT	DATE		SHA	DOW		LOT C, DP 325	5545 🔺	
final survey and set-out. Discrepancies to be reported to the designer prior to commencement of any works. - Where Engineers drawings are required such must take preference over this set of drawings. - Contours have been interpolated from the syste brieghts facter and are approximate only.	A	FIRST SKETCH	05.03.24	SHEET NO:	JOB No:	DRAWN BY:	SCALE:			
- Crimous nave been interported from the span regims taken and are approximate any, - Finished site levels, banks excavations & filling may vary due to site conditions. Adjustment while complying with council requirements remain at the discretion on the builder.	В	Amendment	27.03.24	12/23	J093	R.A.	1:400	50 Phillip Stree	et (
- All boundary clearances are to be verified by survey before any work. - All works to be carried out in accordance with the Building Codes Of Australia, All Local and State Government Ordinances,	С	DA Submission	15.04.24		JU73	к.А.	1.400	Roseland, NS	W, 2196 🗋	\bigcirc
relevant Australian Standards, - Electricity and Water Authorities Regulations and all other relevant Authorities.	-	-	-	CLIENT:				DATE:	ISSUE:	
THIS DRAWING & THE DESIGN EXPRESSED ARE COPYRIGHTS AND REMAIN THE PROPERTY OF DHURSAN CONSTRUCTION IN	-	-	-	Pasnupati Pok	knrei & K	amala De	evkota Pokhrel		(
ACCORDANCE WITH THE COPYRIGHT ACT OF 1968. THIS DRAWING & DESIGN IN WHOLE OR PART MAY NOT BE USED UNLESS LICENSED BY DHURSAN CONSTRUCTION PTY LTD.	-	-	-					05.03.24		•



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au	Project name	50 Phillip_02				
Ola ala Davallia a	Street address	50 PHILLIP Street ROSELANDS 2196				
Single Dwelling	Local Government Area	Canterbury-Bankstown Council				
Certificate number: 17507205 02	Plan type and plan number	Deposited Plan DP325545				
	Lot no.	c				
	Section no.	-				
This certificate confirms that the proposed development will meet the NSW opvernment's requirements for sustainability. If it is built in accordance with the	Project type	dwelling house (detached)				
commitments set out below. Terms used in this certificate, or in the commitments,	No. of bedrooms	5				
have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at	Project score					
www.basix.nsw.gov.au	Water	✔ 40 Target 40	٦.			
Secretary Date of issue: Tuesday, 08 October 2024	Thermal Performance	V Pasa Tarpat Pa	-			
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.	Energy	✓ 72 Target 72				
2000	Materiala	✓ -100 Target n/s	•			
NSW						

Proie

LANDS 2196	Description of project
ouncil	
5	Project address



Schedule of BASIX commitments

The co

Nater Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
'he swimming pool must not have a volume greater than	23 kiloltres.		~	~	
he swimming pool must be outdoors.			~	~	

'hermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
assessor details and thermal loads			-
he applicant must attach the extificate inferred to under "Alessance Deales" on the front page of the BASIC conflictes (the "Assessor Dealestate) to the development application and contractions conflictes application for the proposed development (or, if the applicant in applying for a complying development conflictes for the proposed development, to that application). The applicant must also attach the sasses or certificate to the application for an occupation certificate for the proposed development.			
he Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
he details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX setflicate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Clausing" ablics before.			
he applicant must show on the plans accompanying the development application for the proposed development, all matters which he Assesse for certificate requires to be shown on hour plans. These plans must be a same of senderserver from the Accordinal assessor to certify that is the uses. The applicant must allow on the plans accomputing the application to aconstruction sentificate, and all applicat of the proposed development entities on the Assessor certificate, and all applicat of the proposed development entities used to calculate these specifications as each in the Assessor certificate, and all applicat of the proposed development which was used to calculate these specifications.	~	~	~
he applicant must construct the development in accordance with all thermal performance specifications aet out in the Assessor Cardinate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
he applicant must show on the plans accompanying the development application for the proposed development, the locations of saling lares set out in the Assessor Centificate. The applicant must show on the plans accompanying the application for a construction entificate (or complying development entificate), a globalish, the locations of centing fars set out in the Assessor Centificate.	~	~	~

Thermal Performance and Materials commitme		Show on DA plans	Show on CC/CDC plans & specs	Certific check		
Construction						
The applicant must construct the floors, walts, roofs, ceilings the tables below.	~	~	~			
The applicant must show through receipts that the materials p the tables below.	surchased for construction are consistent with the specification	s listed in			-	
Construction	Area - m ²	Insulation	s	_		
foor - concrete slab on ground, waffle pod slab.	122.1	not specif	fed			
foor - suspended floor above open subfloor, AAC panel (75 mm); frame: timber - H2 treated softwood.	1	fbreglass batts or roll				
foor - above habitable rooms or mezzanine, AAC panel (75 mm); frame: timber - H2 treated softwood.	22.9	fibregiass batts or roll				
foor - suspended floor above garage, AAC panel (75 mm); frame: timber - H2 treated softwood.	21.5	fibregiass batts or roll				
garage floor - concrete slab on ground, walffe pod slab.	21.5	not specified				
external wall: brick veneer; frame: timber - H2 treated softwood.	all external walls	fbreglass	batts or roll			
external garage walt: cavity brick; frame: no frame.	12.6	none				
external garage walt: brick veneer; frame: timber - H2 treated softwood.	16.5	none				
internal walk plasterboard; frame: timber - H2 treated softwood.	180.6	not specified				
internal walk plasterboard; frame: timber - H2 treated softwood.	54.63	fbreglass bats or rol				
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	148.91	ceiling: fib	oreglass betts	or rolt; roof: foil backed	blankat.	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	74	ceiling: fb	oreglass batts	or rolt, roof: foil backed	blankat.	

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Image: A second s

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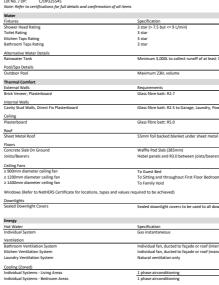
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DA plans & specs check						
The applicant must install windows, glazed doors and skylights as descri- listed in the table.	bed in the table below, in accordance with the specifications	~	~	~		
Frames	Maximum area - m2					
aluminium	71.86					
timber	0					
urvc	0	0				
steel	0	0				
composite	0	0				
	Maximum area - m2					
single	15.81					
double	56.05					
triple	0					

Commitments identified with a V in the "Show on CC/CDC plans and specs" outflicate / complying development cutificate for the processed development

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			_
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	×	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: EER 3.0 - 3.5		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: EER 3.5 - 4.0		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: EER 3.5 - 4.0		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: please select			1
Kitchen: individual fan, ducted to façaide or roof; Operation control: manual switch on/off			10
Laundry: natural ventilation only, or no laundry; Operation control: n/a		-	
Artificial lighting			_
The applicant must ensure that a minimum of 80% of light futures are fitted with fluorescent, compact fluorescent, or light-emitting- ficide (LED) lamps.		~	~
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the deailing for natural lighting.	_		

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	~
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): electric heat pump		~	
The applicant must install a pump for the swimming pool in the development.		~	
The applicant must install a timer for the swimming pool pump in the development.		~	
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	~	~	~
The photovolatic system must consist of:			
 photovolatic collectors with the capacity to generate at least 2.6 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing weat 	V .	~	- v
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dealing.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.		~	



Laundry Ventilation System	Natural ventilation only
Cooling (Zoned)	
Individual Systems - Living Areas	1 phase airconditioning
Individual Systems - Bedroom Areas	1 phase airconditioning
Heating (Zoned)	
Individual Systems - Living Areas	1 phase airconditioning
Individual Systems - Bedroom Areas	1 phase airconditioning
Appliances	
Cooktop/Oven	Gas cooktop & electric oven
Outdoor/Unsheltered Clothes Drying Line	Yes
Indoor/Sheltered Clothes Drying Line	No
Alternative Energy	
Photovoltaic System	Minimum capacity of producing 2.6kW
Pool/Spa Details	
Heating System	Heat pump heating system
Pump controlled by timer	Yes







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Basix

DATE:	DRAWN	COUNCIL:	
	BY:	CANT	ERBURY-
10/10/2024	R.A.	BANK	STOWN
SHEET No:	ISSUE:		SCALE:
12		~	1:4,
13		_	1:3.33



wder and Bathroom internal walls
l roof
15
ms
wnlights where insulation is installed.
Rating
6 stars
rlocked to light with timer off)
ual switch on/off)
EER 3.0 - 3.5
EER 3.0 - 3.5
EEP 2 5 - 4 0

5kW's of peak electricity

Nationwide House Energy Rating Scheme* Thermal performance	D3CIGRGCGW-01 NaHIERS	D3CIGRGCGW-01 NatHERS	D3CIGRGCGW-01 NatHERS	D3CIGRGCGW-01 NatHERS
NatHERS® Contificate No. star rating	D3CIGRGCW41 NatHERS 7.1 Star Rating as of 27 Sep 2024 Contracts 7.	DCIGRGGW-01 NatHERS 7.1 Star Rating as of 27 Sep 2024	D3CIGRGCGW-01 NatHERS 7.1 Star Rating as of 27 Sep 2024	D3GIGRGCGW-01 NatHERS 7.1 Star Rating as of 27 Sep 2024
D3CIGRGCGW-01 Generated on 27 Sep 2024 using FirstRates: 5.5.5s (3.22)	Thermal performance rating Nati-ES thermal software models the expected heating and Shows the contribution each appliance has on the home's	Certificate check	Approval stage Construction stage	Room schedule
Property AND NSW 27/00 * 7.1	NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. Without solar	Certificate check	Certificate check	Room Zone Type Area [m ²] Garage garage 21.5
Address 50 Philip Street, Roseland, NSW, 2196	The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from Energy use:	e dhe rest	Continued 95 are page 1785	Mpr living 14.5
LotIDP CID925545 NCC Class* Class 1a NATIONWIDE	the airflow impacts from ceiling fans. Whole of Home performance rating	Note: The boxes indicate when and who should check each item.	Assesso surveyor Builder Consart arveyor	Guest Bed Bath 2 bedroom 17 WP davTime 6.7
Floorfall Floors Type New Home FLOOR SCHEME	NatHERS Whole of Home software uses the heating and	Genuine certificate check	Additional NCC requirements for thermal performance (not included in the NatHERS assessment) Thermal bridging	Powder unconditioned 4.6
	cooling energy loads combined with the energy performance of home of the home's appliances (hearing, cooling, hot water, lighting, poolisiga pump and conster nerwardle energy penration and assessment	Does his Certificate match the cre available at the web address or QR code verification list on the forst page? Does the MatHCRS extration number on the NatHCRS-stamped plans match the	Does the dwelling meet the NDC requirement for thermal bridging?	Laundry unconditioned 5.3 Kitchen/Family/Diring kitchen 89.9
Main plan J093 Issue C/15.04.2024 29.5 MJ/m ² Prepared by Dhursan Construction Product annual renary load for	storage) and models the expected energy value" of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this constrate.	Does the NatifieldS outfloate number on the NatifielRS-stamped plans match the	Insulation installation method	Master Bed'Ensuite bedroom 22.9
Prepared by Dhutsan Construction Peddets storad areage lead for Construction and environment occupancy assumption.	score out of 100 on this Centricate.	Windows and glazed doors	Has the insulation been installed according to the NCC requirements?	Bath unconditioned 6.1 Family Void doubleHeightVoid 29.7
Assessed floor area (m ⁴)* Exposure type Provide a floor area (m ⁴	Heating & Cooling Load Limits Additional information Greenhouse gas emissions:	Does the window size, opening type and location attoem on the NaHERS- stamped plans or as installed match what is shown in Window and glozed door achieves and "Root window achieves" belies on this controlwind"	Does the dwelling meet the NCC requirements for Building Sealing?	Bed 3 bedroom 11
Unconditioned* 37.4 NatHERS climate zone 7/0	In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required	Does the installed windows meet the substitution tolerances (AFRC' based SHOC' and U-walaws') as shown in the "Window and gluand door byte and performance" and Role window to be care droperance tables on this Careficiate?	Whole of Home performance check (not applicable if a Whole of Home performance assessment is not conducted) Appliances	Bed 2 bedroom 10.9 Master WIR nightTime 10.3
Garage 21.5 222 Carage Limits taken from ABCB Standard 2022	star ratings in northem parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area celling fan. Refer to the ABCB NatHERS performance	External walls	Does the cooling appliance in type, location and efficiency/senformance above on the NatriceScience of an installed match the location and minimum Centralized Science Science (Science Science) and Science Science on the	Rumpus/Passage living 26.1
Accredited assessor - Modelled 11.5 18		Does the external wall back insulation (R-value) shown on the Nath/ERS-stamped plans or as installed match what is shown in the External wall type table on this		Bed 2 bedroom 12.5 Bed 2 Ensuite 2 nightTime 4.4
Name Milard Perez	contact the relevant local building regulating authority, noting conducted for this certificate.	Does the external wall shade (colour) match what is shown in the "External" wall part table on this Certificate?	Dees the heating applance's tops, location and differency/performance shown on the NHFRFS-damped place or installed, match the location and minimum efficiency/performance requirements althour in the "Appliance streaksiv" on this Creational	
Email _ milard@themperform.com.au R Floor type ROS N/A	Floor type: CSDG - Concrete Sizh on Ground	Ploor Does the floor insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the Floor type' table on this certificate?	Does the hot water system type and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance engineemest shown in the 'Apolitory desplays' on this	Window and glazed door type and performance
Phone +61402366704 (lowest conditioned area) Accreditation No. 101510 NCC climate zone 1 or 2 N/A	SF – Suspended Floor (or a mixture of CSOG and SF) Cost: NA – Not Applicable	Ceiling penetrations*	Cetfcal?	Default* windows Substitution tolerance ranges
Assessor Accrediting Organisation Outdoor living area NA ABSA Outdoor living area coling fan NA Declaration of interest No	NCC climate Zone 1 or 2: Yes No	Does the 'quantity' and 'type' of calling penetrations' (e.g. downlights, exhaust fans, etc) shown on the NateERS stamped plans or as installed match what is shown in the 'Casting prevantions' table on the Central or '	Desite pool purper efficiency (performance enhances in MistERS stampool pless or a installed maintain the missimum efficiency performances requirements alcown in the 'Appliance schedule' on this Centificate?	Maximum SHGC lower limit SHGC upper lim
NCC Requirements Whole of Home performance rating	NA - not applicable No Whole Outdoor living area: performance	Cetting	Deers the consist revenueble enough upper hype, colectations and system size or generation capacity shown on the NumERS' stampage plans or installad match the	No Data Available Custors" windows
NCC provisions Volume 2	Yes assessment No conducted for this	Does the calling installation (R-value) stroum on the NaMERS-stamped plans or as installed match what is above in the "Dealing" (gan" lable on this Certificate?	Additional NCC Requirements for Services (not included in the NatHERS assessment) Cost the lighting meet the artificial lighting requirements specified in the NCC?	Substitution tolerance ranges
State/Territory variation Yes No Whole of Home	NA - not applicable Certificate.	Does the external roof shade (cslour) on the NathERS stamped plans or as issued match what is shown in the 'Roof type' table on this Certificate?	Does the hot water system meet the additional requirements specified in the OCC?	Window ID Window description U-value* SHGC* SHGC lower limit SHGC upper lin BRD-001-13 A ESS Sliding Window (52mm) S0 4EA 4.57 0.63 0.6 0.66
National Construction Code (NCC) requirements performance rating generated for this	Yes No NA – not applicable Graph key:	Apartment entrance doors (NCC Class 2 assessments only) Door the "External Door Schedul" show apartment entrance doors?	Provisional values* check	BRD-001-13 A ESS Sliding Window (52mm) S0 4EA 4.57 0.63 0.6 0.66 BRD-126-15 A ESS Fixed Window External 52 Comm 3.82 0.61 0.58 0.64
The NCC allows the use of NatHERS according inframe to comply with the energy difficury requirements for houses (Class 1 buddings) and partnerses (Class 2 allow company units and Class 4 part to buddings). The approaches	Predicted onsite renewable	Please note that an "external door" between the modeled dwelling and a shared space, such as an enclosed contrior or type, should not be included in the model of the contribution of unput that is not be included in the model of the contribution of unput that is not be included in the model of the contribution of unput that is not be included in the model of the contribution of unput that is not be included in the model of the contribution of unput that is not be included in the model of the contribution of unput that is not be included in the model of the contribution of unput that is not be included in the model of the contribution of unput that is not be included in the model of the contribution of the co	Hove provisional values' been used in the assessment and, if so, are they noted in 'Additional notes' table below? Other MCC requirements	BRD-033-01 A ESS Sliding Door (80mm) SG 4Clr 6.19 0.74 0.7 0.78
(Cisis 2 sele-cocupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For spatrements for requirements are detailed in clauses J303 and J3015 of	energy impact	the Carliform	Note: The Certification only covers the energy efficiency requirements in the NCC Additional requirements that must also be satisfied include, but are not inmost to contensation, structural and line sately requirements and any state or territory variations to the NCC energy efficiency requirements.	BRD-125-10 A ESS Fixed Window External 52 Comm DG 6mmET_12Ar, 6mmET 2.03 0.51 0.48 0.54
	No Whole of Home performance	Has the appropriate exposure type (ternain) (shown on page 1) been applied? For example, it is unlikely that a ground-foor apartment is "exposed" or a top foor in the foor	Additional notes	BRD-141-23 A Signature Siding Door DG 3.03 0.56 0.53 0.59 45P10-104-4mmOr
NCC 2022 relates antersect Herming performance requirements for houses and quantum. It also includes a new lother of-home annual energy use budget which applies to the major equipment in the home. we fit Social sufficients and the major equipment in the home.	assessment conducted for this certificate.	Norther and confine from limits*	Number of ceiling penetrations have been assumed.	45P10-1024-4mmCir BRD-112-01 A ESS Awning 52 SG 4mmCir 6.54 0.67 0.64 0.7
NCC 2022 include otherwise Hermitian generation for Maximum end generation. How is the strategy and the s		Treasurg and Counting does minuse Or the values in the ABCB Standard 2022: MMHERS heating and cooling load limits for the appropriate I I I I I I I I I I I I I I I I I		BRD-066-10 A SIG Sliding Window (67mm) DG 3.15 0.53 0.5 0.56
Note, variations and additions to the NCC energy efficiency requirements may apply in some states and tentories.				
Plufer to glossary. Cennesited on 27 Sep 2024 using FirstRetel: 5.5.5a (3.22) for CIDP325545, 50 Philip Street, Roseland, NDW, 2105 Page 1 of 15	"Rafer to glossery. Generated on 27 Sep 2024 using FinstRated. 5.5.5e (3.22) for CCP1225545, 50 Philip Street, Rowland, NSW, 2196 Page 2 of 15	Thefer to glossary. Generated on 27 Sep 2024 using FreeRack 3.5.5a (3.22) for CCIP32545, 50 Philip Sheet, Roseland, NSH, 2186 Page 3 of 15	"Relar to glossary. Cenerated on 27 Sep 2024 using FindRated: 5.5.5e (3.22) for COP325545, 50 Philip Shvet, Rowland, NDW, 2196 Page 4 of 15	- - - - - - - - - - - - -
NOW 2 HOUZOZ + DOOTONOUGV-042	Page 2 01 15	rage 3 of 15	Page 4 015	rage
D3CIGRGCGW-01 NatHERS 7.1 Star Rating as of 27 Sep 2024	D3CIGRGCGW-01 NatHERS Certificate 7.1 Star Rating as of 27 Sep 2024	D3CIGRGCGW-01 NatHERS 7.1 Star Rating as of 27 Sep 2024	D3CIGRGCGW-01 NatHERS 7.1 Star Rating as of 27 Sep 2024	D3CIGRGCGW-01 NatHERS 7.1 Star Rating as of 27 Sep 2024
Certificate 7.1 Star Haing as of 27 Sep 2024		Certificate 7.1 Star Rating as of 27 Sep 2024	Certificate 7.1 Star Rating as of 27 Sep 2024	
BRD-001-37 A ESS Sixiang Window (szmm) SG 6.38 0.74 0.7 0.78 4mmCir	Madel Wirk BHD-120-10 A (W13) 2460 abb Inted 0.0 N No	External wall type Solar Wall shade Bulk insulation Reflective wall	Family Void 3 2700 5708 W 0 Yes	Rtichen-Family/D- ning 85mm concrete (R0.63) 25 Enclosed HU.U Timber
Window and glazed door schedule	(W17) 2000 5000 INED 0.0 5 NO	Wall ID Wall type absorptance [colour] [R-value] wrap*	Family Void 3 2700 3728 S 0 No Bed 3 3 2700 3655 W 0 Yes	Master Bedichsute Floor 6 Endosed K3.0 Ties
Window Height Width shading Location Window D Window on Imma Imma Window tana Ononion 6 Oxfontation devices	Rumpus/Passage BRD-066-10 A (9-21 ASW 850 2050 sliding 45.0 E No (W19)	1 TP-BV - Brick Veneer 0.5 Medium No 2 TP-CB - Brick Cavity 0.5 Medium No	Bed 3 3 2700 245 S 3590 Yes	Master Bed/Ensuite TPIM - Particleboard Hebel 17 Enclosed R3.0 Timber Floor
Location Window ID Window no. [mm] [mm] Window type Opening %. Orientation device* Mpr BRD-001-13 A 09-18 ASW 850 1810 sliding 45.0 E No	Bed 2 BRD-001-37 A 09-12 ASW 850 1210 sliding 10.0 E No (W21)	Glass fbre bat (k = 0.044 3 TP-BV - Brick Veneer 0.5 Medium denstly = 12 kg/m3) No	Bed 2 3 2700 2891 W 0 Yes Master WIR 3 2700 1076 E 3781 Yes	Bath TPM - Particleboard Hebel 6.1 Enclosed R3.0 Tiles
Guest Bed/Bath 2 BRD-001-13 A 15-18 ASW 1450 1810 sliding 45.0 E No	Bed 2 Ensuite 2 BRD-001-37 A 09-08 ASW 850 750 sliding 45.0 E No	(R2.7) (R2.7)	Master WIR 3 2700 1789 N 710 Yes	Family Void No Floor 29.7 Enclosed R3.0 No Floor FMI - Particleboard Hebel 11 Enclosed R3.0 Timber
WIP BRD-125-15 A 06-18 APW 600 1500 fixed 0.0 E No	Roof window [*] type and performance value	External wall schedule	Master WIR 3 2700 1405 N 238 Yes Master WIR 3 2700 209 N 719 No	Floor
WIP BRD-128-15 A (W09) 800 1500 Ialed 0.0 E NG	Default roof windows	Hortzontal shading Height Width featurs' maximum Vertical shading Location Wall ID [mm] [mm] Orientation projection [mm] featurs' (yea'no)	Master WIR 3 2700 3012 W 0 Yes	Bed 2 10.9 Enclosed R3.0 Timber
Laundry BRD-033-01 A (SD3) 2400 1450 sixing 45.0 W No	Substitution tolerance ranges	Garage 1 3000 5492 E 0 Yes	Rumpus/Passage 3 2700 3486 S 0 Yes Rumpus/Passage 3 2700 3511 E 0 Yes	Master WIR TPM - Particleboard Hebel 1 Elevated R3.0 Timber Floor
Dining BRD-128-15 A (W08) 800 2000 Inited 0.0 E Nd	Window ID Window description U-value* SHGC* SHGC lower limit SHGC upper limit No Data Available	Garage 2 3000 4200 N 1744 Yes Mpr 3 3000 3487 E 0 Yes	Bed 2 3 2700 4110 E 0 No Bed 2 Ensuite 2 3 2700 500 E 0 Yes	Master WIR TPM - Particleboard Hebel 9.2 Enclosed R3.0 Timber Floor
Kitchen/Family/- BRD-125-10 A 24-09 AFW 2400 850 fixed 0.0 N No Dining	Custom" roof windows	Mpr 3 3000 385 S 0 Yes	Bit 2 2 Hours 3 2/00 500 E 0 Yes Bit 2 Ensulte 2 3 2700 388 S 0 Yes	Rumpus/Passage TPM - Particleboard Hebel 26.1 Enclosed R3.0 Timber
Kitchen/Family/- BRD-125-10 A 52-09 AFW 3160 900 fixed 0.0 W No Dining (W05) Lower	Substitution tolerance ranges Maximum SHGC lower limit SHGC upper limit	Guest Bed Bath 2 3 3000 3624 E 0 Yes WIP 3 3000 1907 E 0 Yes	Bed 2 Ensuite 2 3 2700 1000 E 0 No	Bed 2 TPM - Particleboard Hebel 12.5 Enclosed R3.0 (Mountain ash)
Kitchen/Family ¹ BRD-125-10 A 52-09 AFW 3160 900 fixed 0.0 W No Dining (W04) Lower	Window ID Window description U-value* SHGC* SHGC lower limit SHGC upper limit No Data Available	Powder 3 3000 2481 W 0 Yes	Internal wall type	Bed 2 Ensuite 2 TPM - Particleboard Hebel 4.4 Enclosed R3.0 Tiles
Kitchen-Family/- Dining BRD-125-10 A (W06) 2450 3000 fixed 0.0 S No		Laundry 3 3000 2827 W 0 Yes Ktchen Family/Dining 3 3000 8377 E 241 Yes	Wall ID Wall type Area [m*] Bulk insulation 1 FR5 - Internal Plasterboard Stud Wall 86.7 Glass fibre batt: R2.5 (R2.5)	1 80
Kitchen/Familyi- BRD-141-23 A (24-28 ASSD Dision Dision BRD-141-23 A (2511) 2400 2756 sliding 60.0 W No	Roof window [®] schedule Opening Area Width Outdoor Indoor	Ktchen/Family/Dining 3 3000 1537 N 1257 Yes	2 FR5 - Internal Plasterboard Stud Wall 180.5	Ceiling type Construction Bulk insulation R-value Reflective
Ktchen/Family/- BRD-141-23 A 24-27 ASSD 2400 2677 silding 60.0 S No	Location Window ID Window no. % [m ²] [mm] Orientation shade shade No Data Available	KtchenFamilyDiring 3 3000 1068 E 1580 Yes KtchenFamilyDiring 3 3000 1835 N 0 Yes	Floor type	Location materialitype [may include edge batt values] wrap* TPM - Particleboard
Master BDD 141 23 A 24-27 ASSD 2400 2650 elition 60.0 N No.	Sivilahte type and performance	Kitchen/Family/Dining 3 3000 4474 W 0 Yes	Sub-floor Added insulation Location Construction Area [m ⁻¹] ventilation [R-value] Covering	Garage Habel Floor N3.0 No
Uning (SU2) Master BRD-141-23 A 24-27 ASSD 2400 2650 sliding 60.0 N No Bed/Ensule BRD-141-23 A (SD4)	Skylight* type and performance Skylight ID Skylight description Skylight shaft reflectance	Kitchen/Family/Dining 3 3000 1763 W 0 Yes		Mpr Hebel Floor K1.0 No No
Lining EXIZ XXX	Skylight ID Skylight description Skylight andt reflectance No Data Avaitable	Kitzhen-FamilyCliving 3 2000 1783 W 0 Yes Kitzhen-FamilyCliving 3 3000 224 S 0 Yes Kitzhen-FamilyCliving 3 3000 3688 W 0 Yes	Location Construction Area [m ²] ventilation [R-value] Covering Gramme FRS-225mm wallie pot, 21.5 21.5 Environ P0.0 none	Lange Head Floor N-3 No Mpr TMP-Protocol R3.0 No Quest Bied Bath 2 TMP-Protocol R3.0 No
Linking Butch BMC - 14-2 Al AVEA AVEA <th>Skylight ID Skylight discription Skylight shaft reflectance No Data Available Skylight "schedule Skylight shaft Area Orient Ouddoor</th> <th>KitchenFamilyDining 3 3000 1783 W 0 Yes KitchenFamilyDining 3 3000 224 S 0 Yes</th> <th>Location Construction Area [m] ventilation (R-value) Convertig Garage FR5-20mm write god. 21.5 Endoacd R0.9 none Mm FR5-20mm write god. 21.5 Endoacd R0.9 none</th> <th>March Heal Floor Kal No Mpr Half Floor R3.0 No Guest Buddan 2 TM - Produced R3.0 No Guest Buddan 2 TM - Produced R3.0 No Guest Buddan 2 TM - Produced R3.0 No</th>	Skylight ID Skylight discription Skylight shaft reflectance No Data Available Skylight "schedule Skylight shaft Area Orient Ouddoor	KitchenFamilyDining 3 3000 1783 W 0 Yes KitchenFamilyDining 3 3000 224 S 0 Yes	Location Construction Area [m] ventilation (R-value) Convertig Garage FR5-20mm write god. 21.5 Endoacd R0.9 none Mm FR5-20mm write god. 21.5 Endoacd R0.9 none	March Heal Floor Kal No Mpr Half Floor R3.0 No Guest Buddan 2 TM - Produced R3.0 No Guest Buddan 2 TM - Produced R3.0 No Guest Buddan 2 TM - Produced R3.0 No
Linkage (auto)	Baylight D Baylight Bascription Baylight Abult reflectance No Data Austration Skylight Schedule Skylight Schedule Skylight Schedule Baylight Abult Abult Schedule Discontion Location Baylight D Baylight Abult Abult Schedule Different Schedule No Data Baylight Abult Abult Abult Schedule Skylight Abult Abult Schedule Different Schedule	Klabes/Fanig/Dring 3 3000 1783 W 0 Yes Klabes/Fanig/Dring 3 3000 224 S 0 Yes Klabes/Fanig/Dring 3 3000 286 W 0 Yes Klabes/Fanig/Dring 3 3000 286 W 0 Yes Klabes/Fanig/Dring 3 3000 228 N 0 Yes Klabes/Fanig/Dring 3 3000 529 Yes 0 Yes	Leading Construction Mess [HT] vertilition [Pe-value] Converting Gaspip FR5: 200m wild poid. 21.5 Exclused R0.0 mme Mpr FR5: 200m wild poid. 43.5 Exclused R0.0 Timbar Mpr FR5: 200m wild poid. 43.5 Exclused R0.0 Timbar Gased Beddiah 2 FR5: 200m wild poid. 45.5 Exclused R0.0 Timbar Gased Beddiah 2 FR5: 200m wild poid. 45.5 Exclused R0.0 Timbar Counted Beddiah 2 FR5: 200m wild poid. 45.5 Exclused poid. Timbar	Mapping Heal Floor RUI NO Mpr TMP - Findband R3.0 No Gass Bodish 2 TMP - Findband R3.0 No Gass Bodish 2 TMP - Findband R3.0 No Gass Bodish 2 Mah Findband R3.0 No WP TMP - Findband R3.0 No
Linkage (auto)	Bylight D Bylight description Bylight shaft reflectance to Data Anable Sitylight schedule Sitylight schedule Location Bylight D Bylight Na hugh Imm] [m] ation shade Diffuser	KlahesFanityOning 3 5000 1783 W 0 Yes KlahesFanityOning 3 5000 248 S 0 Yes KlahesFanityOning 3 5000 248 W 0 Yes KlahesFanityOning 3 5000 258 W 0 Yes KlahesFanityOning 3 5000 228 N 0 Yes KlahesFanityOning 3 5000 2711 S 7031 Yes KlahesFanityOning 3 5000 2287 Y 3200 Yes KlahesFanityOning 3 5000 2277 Y 3200 Yes KlahesFanityOning 3 5000 3275 S 4261 Yes	Construction Mess [m] ventilation [Pe-shot] Conversig Gaspy FR5: 200m will poid. 21.5 Existed R0.0 mme Mpr FR5: 200m will poid. 21.5 Existed R0.0 mme Mpr FR5: 200m will poid. 43.5 Existed R0.0 Timber Outer Bestlah 2 FR5: 200m will poid. 45.5 Existed R0.0 Timber Outer Bestlah 2 FR5: 200m will poid. 45.5 Existed R0.0 Timber Outer Bestlah 2 FR5: 200m will poid. 12.6 Existed R0.0 Time Will FR5: 200m will poid. 12.6 Existed R0.0 Time	Marcine Heal Floor RUI No Mpr Hild Floor RUI No Guest Bottlini 2 TMI - Franklasteri Heal Floor RUI No Guest Bottlini 2 TMI - Franklasteri Heal Floor RUI No Guest Bottlini 2 TMI - Franklasteri Heal Floor RUI No War TMI - Franklasteri Heal Floor RUI No Powder TMI - Franklasteri Heal Floor RUI No
Linking (six0)	Bylight D Bylight description Bylight description Bylight shaft reflectance To Data Austales Skylight*schedule Location Bylight D Bylight No. length [mit] [mit] allon shade Diffuser No Data Austation External door schedule	Xitzberfang/Gring 3 2000 1718 W 0 Yes Kitzberfang/Gring 3 2000 224 S 0 Yes Kitzberfang/Gring 3 2000 224 N 0 Yes Kitzberfang/Gring 3 2000 226 N 9 Yes Kitzberfang/Gring 3 2000 226 N 9 Yes Kitzberfang/Gring 3 2000 237 N 0 Yes	Construction Proj. Description Proj. Description Description <thdescription< th=""> Description <thdescri< td=""><td>Head Floor *K.3J No TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Find Floor TMP - Findel Real Floor RL3 No</td></thdescri<></thdescription<>	Head Floor *K.3J No TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Reads 12 TMP - Findel Real Floor RL3 No Quest Find Floor TMP - Findel Real Floor RL3 No
Linking (six1) (six2) Stature Matter Badfing BED-14122A 247,74550 2400 2450 8401g 60.0 N No Bath BED-1122A 14.07,9440 1400 650 awm No Bath BED-112A 14.07,9440 1400 650 awm No Family Void BED-1551A AVE 2400 1210 fixed 0.9 W No Family Void BED-1551A AVE 2400 100 fixed 0.9 W No Family Void BED-1551A AVE 2400 100 fixed 0.9 W No Family Void BED-1551A 10.03.047W 1000 3000 fixed 0.8 No Family Void BED-151A 10.03.047W 1000 3000 fixed 0.8 No Bed 3 BED-20113A 002.11A 602 2050 fixed 0.0 No	Bylight ID Bylight description Bylight shaft reflectance No Dis Availate Skylight Schedule Skylight shaft reflectance Skylight Schedule Skylight shaft reflectance Skylight shaft reflectance Location Skylight D Skylight file. Inregit [rm] [rm] alion shade Diffuser Ho Dist Availate External door schedule Location Neight [rm] Web (rm] Opening %. Orientation Gange 200 200 0 N Distance	Xitzberfang/Gring 3 2001 1718 W 0 Yes Kitzberfang/Gring 3 2000 224 S 0 Yes Kitzberfang/Gring 3 2000 234 W 0 Yes Kitzberfang/Gring 3 2000 234 W 0 Yes Kitzberfang/Gring 3 2000 237 S 701 Yes Kitzberfang/Gring 3 2000 237 S 701 Yes Kitzberfang/Gring 3 2000 237 S 403 Yes Madri Badificable 3 2700 177 W 0 Yes Madri Badificable 3 2700 270	Construction Press brill mathematical state Press brill mathematical state Press brill mathmatematematical state Press brill mathem	Margin Heal Floor Kull No Mpr TMP - FinderMark R3.0 No Guest Buddan 2 TMP - Angelandt R3.0 No WaP TMP - Paralisation R3.0 No Head Floor TMP - Paralisation R3.0 No Pander TMP - Paralisation R3.0 No
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- Do not scale the drawings unless otherwise stated as written dimensions will take preference over scaling. - All dimensions and levels are to be checked and verified by the CONTRACTOR on the site before commencement of any work. All dimensions and levels are subject to final survey and set-out. Discrepancies to be reported to the

designer prior to commencement of any works. - Where Engineers drawings are required such must take prefrence over this set of drawings.

- Contours have been interpolated from the spot heights taken and are approximate only.

- Finished site levels, banks excavations & filling may vary due to site conditions. Adjustment while complying with council requirements remain at the discretion on the builder. - All boundary clearances are to be verified by survey before

any work. - All works to be carried out in accordance with the Building Codes Of Australia, All Local and State Government Ordinances, relevant Australian Standards,

- Electricity and Water Authorities Regulations and all other relevant Authorities.

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ISSUE	AMENDEMENT	DATE
Α	FIRST SKETCH	05.03.24
В	Amendment	27.03.24
С	DA Submission	15.04.24
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-

CLIENT:

Pashupati Pokhrel & Kamala Devkota Pokhrel

SITE ADDRESS:

LOT C, DP 325545, 50 Phillip Street Roseland NSW 2196,

PROJECT NUMBER:

J093

SHEET TITLE:

Nathers

DATE:		COUNCIL: CANTERBURY-	
	BY:		
10/10/2024	R.A.	BANKSTOWN	
SHEET No:	ISSUE:		SCALE:
14	(1:3.57

